



**LAKEWOOD VILLAGE TOWN HALL
100 HIGHRIDGE DRIVE
LAKEWOOD VILLAGE, TEXAS
VIA TELEPHONE CONFERENCE
TOWN COUNCIL MEETING
DECEMBER 10, 2020 7:00 P.M.**

NOTICE IS HEREBY GIVEN Pursuant to section 551.127 of the Texas Government Code, and in conjunction with the guidance and provisions provided by the Governor of Texas in the declaration of disaster and subsequent executive orders altering certain Open Meetings Act requirements and banning gatherings of more than 10 people, the Town Council of the Town of Lakewood Village will conduct the meeting scheduled at the date and time above at Lakewood Village Town hall, 100 Highridge Drive by telephone conference in order to advance the public health goal of limiting face-to-face meetings (also called “social distancing”) to slow the spread of the Coronavirus (COVID-19). There will be **no in-person public access** for the agenda items at the location described above and less than a quorum may be physically present at the location.

This Notice and Meeting Agenda, and the Agenda Packet, are posted online at *lakewoodvillagetx.us*. The public toll-free dial-in number to participate in the telephonic meeting is hosted through ZOOM. The dial in number is: 346-248-7799. You will be prompted to enter the meeting ID number: 848-2857-5329, and you will be prompted to enter the passcode: 529581.

The public will be permitted to offer public comments telephonically as provided by the agenda and as permitted by the presiding officer during the meeting. **Persons wishing to speak before the Council must notify the Town Secretary via email, linda@lakewoodvillagetx.us, no later than 6:30 p.m. on the date of the scheduled meeting. The email must include your name, full address, and the agenda item on which you wish to speak.** A recording of the telephonic meeting will be made and will be available to the public in accordance with the Open Meetings Act upon written request.

REGULAR SESSION – AGENDA

Call to Order and Announce a Quorum is Present

A. PLEDGE TO THE FLAG:

B. VISITOR/CITIZENS FORUM: At this time, any person with business before the Council not scheduled on the agenda may speak to the Council. The council may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code.

C. PUBLIC HEARING – A public hearing is scheduled on the requested annexation of A0339A C.C. Dickson, Tr 2A, 14.9108 acres, and A0339A C.C. Dickson, Tr 2A (1), 0.164 acres.

D. CONSENT AGENDA: All the items on the Consent Agenda are considered to be self-explanatory and will be enacted by one motion. There will be no separate discussion of these items unless a Council Member requests an item be removed from the Consent Agenda.

1. Minutes of September 10, 2020 Council Meeting (Asbell)
2. Minutes of November 12, 2020 Council Meeting (Asbell)
3. Reappointment of Presiding Judge Bertrand (Asbell)

E. REGULAR AGENDA:

1. Consideration of Variance for 820 Carrie, Front Facing Garage (Asbell)
2. Consideration of Variance for 327 Peninsula, Front Facing Garage (Asbell)

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REGULAR AGENDA
DECEMBER 10, 2020**

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3. Presentation of Audit of 2019-2020 Fiscal Year, Mr. Wayne Nabors, Nabors CPA Services (Vargus)
4. Discussion of Concrete Roads (Vargus)
5. Consideration of COVID operations policy for Personnel (Vargus)
6. Consideration of Resolution Accepting Annexation Petition (Asbell)
7. Review of Lakewood Village Investment Policy (Vargus)
8. Discussion of Rocky Point Water System/Last Resorts Water System (Vargus)
9. Discussion of Nuisance Ordinance (Vargus)

F. EXECUTIVE SESSION: – In accordance with Texas Government Code, Section 551.001, et seq., the Town Council will recess into Executive Session (closed meeting) to discuss the following:

1. § 551.071(2), Texas Government Code to wit: consultation with Town Attorney on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter to receive legal advice re: Development agreements, development and zoning standards;
2. § 551.071(1), Texas Government Code to wit: Consultation with the Town Attorney regarding pending or contemplated litigation, re: Town of Lakewood Village V. Patterson Professional Services.
3. § 551.072 Texas Government Code to wit: deliberations about real property regarding Sam Hill Ventures, Sanctuary at Sunset Cove, Project Left Field, and Project Slade Rock; and
4. § 551.087 Texas Government Code to wit: Economic Development Negotiations regarding Sam Hill Ventures, Sanctuary at Sunset Cove, Project Left Field, and Project Slade Rock.

G. RECONVENE: Reconvene into regular session

H. ADJOURNMENT

I do hereby certify that the above notice of meeting was posted on the designated place for official notice at 5:06 p.m. on Monday, December 7, 2020.



Linda Asbell

Linda Asbell, TRMC, CMC, Town Secretary

The Town Council reserves the right to adjourn into closed session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Section 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices) and 551.087 (Economic Development), 418.183 (Homeland Security)

This facility is wheelchair accessible and accessible parking spaces are available. Please contact the Town Secretary's office at 972-294-5555 or FAX 972-292-0812 for further information.

One or more board members of the LAKWOOD VILLAGE MUNICIPAL DEVELOPMENT DISTRICT may attend this meeting. No action will be taken by the MDD board.

LAKEWOOD VILLAGE TOWN COUNCIL

COUNCIL MEETING

SEPTEMBER 10, 2020

Council Members:

Dr. Mark Vargus, Mayor
Darrell West – Mayor Pro-Tem
Clint Bushong
Serena Lepley
Matt Bissonnette
Eric Farage

Town Staff:

Linda Asbell, TRMC, CMC – Town Secretary
Amanda Davis – Deputy Town Attorney

REGULAR SESSION - 7:00 P.M.

With a quorum of the Council Members present, Mayor Vargus called the Regular Meeting of the Town Council to order at 7:02 p.m. on Thursday, September 10, 2020 in the Council Chambers of the Lakewood Village Town Hall, 100 Highridge Drive, Lakewood Village, Texas.

PLEDGE TO THE FLAG:

(Agenda Item A)

Mayor Vargus led the Pledge of Allegiance

VISITOR/CITIZENS FORUM:

(Agenda Item B)

No one requested to speak

PROCLAMATION:

(Agenda Item C)

Mayor Vargus read a proclamation designating September 17-23, 2020 as Constitution Week. The proclamation will be presented to the Prestonwood Chapter of the Daughters of the American Revolution.

PUBLIC HEARING:

(Agenda Item D)

A public hearing was held to provide an opportunity for citizens to comment on the proposed property tax rate. Mayor Vargus opened the public hearing at 7:04 p.m.

No one requested to speak.

MOTION: Upon a motion made by Councilwoman Lepley and seconded by Mayor Pro-Tem West, council voted five (5) “ayes”, no (0) “nays” to close the public hearing at 7:05 pm. *The motion carried.*

PUBLIC HEARING:

(Agenda Item E)

A public hearing was held to provide an opportunity for citizens to comment on the requested annexation of A0339A C.C. Dickson, Tr 2A, 14.9108 acres, and A0339A C.C. Dickson, Tr 2A (1), 0.164 acres. Mayor Vargus opened the public hearing at 7:05 p.m.

No one requested to speak.

MOTION: Upon a motion made by Mayor Pro-Tem West and seconded by Councilman Bissonnette, council voted five (5) “ayes”, no (0) “nays” to close the public hearing at 7:06 pm. *The motion carried.*

CONSENT AGENDA:

(Agenda Item F)

1. Variance Request on Roof Pitch for 819 Carrie Court (Asbell)
2. Minutes of August 13, 2020 Council Meeting (Asbell)
3. Abandonment of Drainage Easement between Lots 17 and 18 on Block N of District 3, 860 Highridge Drive (Asbell)

Mayor Vargus reviewed Consent Items 1. and 3.

MOTION: Upon a motion made by Councilwoman Lepley seconded by Councilman Farage, council voted five (5) “ayes”, no (0) “nays” to approve the consent agenda items as presented. *The motion carried.*

REGULAR AGENDA:

(Agenda Item G)

**Ratification of Fiscal Year 2020-2021 Budget
(Asbell)**

(Agenda Item G.2)

MOTION: Upon a motion made by Mayor Pro-Tem West seconded by Councilwoman Bissonnette, council voted five (5) “ayes”, no (0) “nays” to ratify the property tax increase reflected in the 2020-2021 budget as adopted. *The motion carried.*

ROLLCALL VOTE

Mayor Vargus – present and not voting
Mayor Pro-Tem West - aye
Councilman Bushong - aye
Councilwoman Lepley - aye
Councilman Farage - aye
Councilman Bissonnette - aye

**Consideration of Fiscal Year 2020-2021
Property Tax Rate (Vargus)**

(Agenda Item G.1)

Mayor Vargus reported on the changes to the property tax laws regarding the roll-back election. The roll-back election is required if the property tax rate is increased above 3.5 percent, however small municipalities are only required to have an election if certain conditions are met and a petition is received. If a municipality tax rate is increased below 3.5% the municipality is permitted to roll the different forward to future years.

MOTION: Upon a motion made by Councilman Bissonnette seconded by Councilwoman Lepley council voted five (5) “ayes”, no (0) “nays” that the property tax rate be increased by the adoption of a combined property tax rate of \$0.45/\$100 which is effectively an eight percent increase in the tax rate. *The motion carried.*

ROLLCALL VOTE

Mayor Vargus – present and not voting
Mayor Pro-Tem West - aye
Councilman Bushong - aye
Councilwoman Lepley - aye
Councilman Farage - aye
Councilman Bissonnette - aye

Discussion of Concrete Roads (Vargus)

(Agenda Item G.3)

Mayor Vargus reported on pouring delays caused by recent heavy rains. Ed Bell Construction will attempt to pour Meadow Lake on Friday, September 11, 2020. Stowe Lane have drainage issues where the contractor did not follow the construction plans. A plan is being implemented to correct the problems. There was some discussion about the survey process including elevations for grading. There was some discussion about discoloration and thickness of the center line on Stowe Lane. Mayor Vargus reported that a fire hydrant on Meadow Lake will be moved to allow for a drainage inlet and the six-inch water main will be extended.

**Consideration of Engineering Traffic Study
(Vargus)**

(Agenda Item G.4)

Mayor Vargus reported that a traffic warrant is required for the traffic light at the entrance to town. Kimley Horn will provide a task order to perform the traffic study. The cost is between \$20,000 and \$30,000 which is covered in the Development Agreement with Sam Hill.

MOTION: Upon a motion made by Mayor Pro-Tem West seconded by Councilman Bissonnette, council voted five (5) “ayes”, no (0) “nays” to authorize Mayor Vargus to execute a task order with Kimley Horn for the traffic study. *The motion carried.*

**Discussion of Rocky Point Water System
(Vargus)**

(Agenda Item G.5)

Mayor Vargus reported on a failure at the Last Resorts Water System. Mayor Vargus reported that Mark Patterson of Patterson Professional Services was contacted by the Texas Commission on Environmental Quality as the operator for the Town of Lakewood Village. Mr. Patterson used his position as the operator for the town to attempt to take the water system into his personal business rather than notify the Town. Mayor Vargus reported that an emergency interconnect was established between the Rocky Point Water System and the Last Resorts Water System. Mayor Vargus reported on efforts he and the Town Secretary have undertaken to work with Texas Commission on Environmental Quality and the Public Utility Commission to be named as the temporary operator. Mayor Vargus and Secretary Asbell have met with the owners of the Last Resorts Water System to begin the process of transferring ownership of the system to the Town of Lakewood Village.

Mayor Vargus reported that Mark Patterson of Patterson Professional Services emailed the Town Secretary the day after the town found out about the takeover attempt and terminated his contract. The Town is enforcing the 90-termination clause in the contract.

**Discussion of Halloween Hayride Alternatives
(Vargus)**

(Agenda Item G.6)

Mayor Vargus reported that due to the COVID-19 situation he has determined it is not safe to hold the traditional Halloween Hayride. Council discussed alternatives including the possibility of the town creating a map of addresses who have notified town hall they want to distribute candy or exploring the possibility of borrowing golf carts for a Halloween trick or treating parade. Councilman Farage recommended identifying properties with stakes or flags. Councilwoman Lepley recommended not complicating Halloween because everyone follows the “porch-light-on or porch-light-off” rule. There was some discussion about the responsibility for safety being on the parents of children who participate and the adults who are handing out candy.

EXECUTIVE SESSION:

(Agenda Item H)

At 7:50 p.m. Mayor Vargus recessed into executive session in accordance with

1. § 551.071(2), Texas Government Code to wit: consultation with Town Attorney on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter to receive legal advice re: Development agreements, development and zoning standards
2. § 551.071(1), Texas Government Code to wit: consultation with Town Attorney regarding pending or contemplated litigation re: Town of Lakewood Village V. Patterson Professional Services.
3. § 551.074, Texas Government Code to wit: Personnel Matters
4. § 551.072 Texas Government Code to wit: deliberations about real property regarding Sam Hill Ventures, and Sanctuary at Sunset Cove
5. § 551.087 Texas Government Code to wit: Economic Development Negotiations regarding Sam Hill Ventures, and Sanctuary at Sunset Cove

RECONVENE:

(Agenda Item I)

Mayor Vargus reconvened the regular session at 8:39 p.m. No action was taken.

ADJOURNMENT

(Agenda Item I)

MOTION: Upon a motion made by Councilwoman Lepley and seconded by Mayor Pro-Tem West council voted five (5) “ayes” and no (0) “nays” to adjourn the Regular

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REGULAR SESSION
SEPTEMBER 10, 2020**

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Meeting of the Lakewood Village Town Council at 8:40 p.m. on Thursday
September 10, 2020. The motion carried.

These minutes approved by the Lakewood Village Town Council on the 10th day of December
2020.

APPROVED:

Darrell West
MAYOR PRO-TEM

ATTEST:

Linda Asbell, TRMC, CMC
TOWN SECRETARY

DRAFT

LAKEWOOD VILLAGE TOWN COUNCIL

COUNCIL MEETING

NOVEMBER 12, 2020

Council Members:

Dr. Mark Vargus, Mayor
Darrell West – Mayor Pro-Tem
Clint Bushong
Serena Lepley
Matt Bissonnette
Eric Farage

Town Staff:

Linda Asbell, TRMC, CMC – Town Secretary

REGULAR SESSION - 7:00 P.M.

With a quorum of the Council Members present, Mayor Vargus called the Regular Meeting of the Town Council to order at 7:00 p.m. on Thursday, November 12, 2020 in the Council Chambers of the Lakewood Village Town Hall, 100 Highridge Drive, Lakewood Village, Texas.

PLEDGE TO THE FLAG:

(Agenda Item A)

Mayor Vargus led the Pledge of Allegiance

VISITOR/CITIZENS FORUM:

(Agenda Item B)

No one requested to speak

PUBLIC HEARING:

(Agenda Item C)

A public hearing was held to provide an opportunity for citizens to comment on the requested annexation of A0339A C.C. Dickson, Tr 2A, 14.9108 acres, and A0339A C.C. Dickson, Tr 2A (1), 0.164 acres.

No one requested to speak.

MOTION: Upon a motion made by Mayor Pro-Tem West and seconded by Councilman Farage, council voted five (5) “ayes”, no (0) “nays” to close the public hearing at 7:03 pm. *The motion carried.*

REGULAR AGENDA:

(Agenda Item D)

**Consideration of Variance for 424 Peninsula,
Front Facing Garage (Asbell)**

(Agenda Item D.1)

Mayor Vargus reported this property is irregularly shaped and has a large flood plain on the back of the property.

MOTION: Upon a motion made by Councilwoman Lepley seconded by Councilman Bissonnette, council voted five (5) “ayes”, no (0) “nays” to approve the variance as requested for a front facing garage. *The motion carried.*

Discussion of Concrete Roads (Vargus)

(Agenda Item D.2)

Mayor Vargus reported on some drainage issues on Carrie Lane and reviewed the funding gap. Mayor Vargus reported on a large change order for dirt work that is outstanding and will be a savings of between \$50,000 and \$100,000. There was some discussion about the drop inlets for storm drainage, the need to lower the water main and issues with a drainage pipe on a property at Woodcrest Drive and Highridge Drive. There was some discussion about the pour schedule for the next two weeks. Mayor Vargus reviewed the process for accepting roads and providing the contractor with a punch-list of corrections.

**Discussion of Traffic Warrant Study
(Vargus)**

(Agenda Item D.3)

Mayor Vargus reported the Texas Transportation Code sets out guidelines for obtaining approval for a traffic light. Mayor Vargus stated there are nine criteria the Town Engineer followed to determine the feasibility of the traffic light.

Eric Hancock, 8249 Treemont Pl, Frisco, reported he is one-third owner of the property at the entrance to town. Mr. Hancock stated the current town entrance is the only existing entrance to their property. Mr. Hancock stated this is the first time the council has discussed removing the entrance. Mr. Hancock reported that he contacted the Town Secretary and she indicated that he would continue to have access to your property as indicated in the most current thoroughfare plan. Mr. Hancock reported that Town Secretary Asbell told him he could have spoken to the

council regarding any concerns when the town council was discussing the thoroughfare plan. Mr. Hancock stated he would consider removing the entrance as devaluing his property and would be an unconstitutional taking of his property. Mr. Hancock reviewed errors he believes are in the Town Engineer's report on the traffic warrant. Mr. Hancock stated the town can build a new entrance for town but does not want the town to violate his constitutional rights by demolishing the current entrance.

Mayor Vargus reviewed the previous engineering study analyzing three locations, the many previous public hearings on the entrance and the thoroughfare plan. There was some discussion about providing the engineer with some redlines to correct some of the errors and clarify some language. Mayor Vargus stated the report indicates Lakecrest will be abandoned, but all properties will still be accessible. Councilman Bushong reported on the benefits of obtaining a traffic light and partnering with a developer on cost. Councilman Bushong stated the benefits are worth him driving a little longer distance to get to the entrance.

**Consideration of Municipal Services
Agreement with LEISD (Asbell)**

(Agenda Item D.4)

Town Secretary Asbell reported on communications with representatives of Little Elm Independent School District and their attorney. Town Secretary Asbell stated this agreement has been reviewed and placed on the school board agenda for approval on November 16, 2020. Mayor Vargus reviewed the annexation process.

MOTION: Upon a motion made by Mayor Pro-Tem West seconded by Councilman Farage, council voted five (5) "ayes", no (0) "nays" to approve the Municipal Services Agreement with Little Elm Independent School District. *The motion carried.*

**Consideration of Contract for
Water/Wastewater Operations (Vargus)**

(Agenda Item D.5)

Mayor Vargus reported that Patterson Professional Services contract expires at the end of the month. There was some discussion about the condition of the sewer plant. Mayor Vargus reported that he has interviewed Brent Piggett and he will be hired as an employee. Mayor Vargus reported on the benefits to the town to operate in-house. Mr. Piggett will be paid \$1,000 per month for regulatory compliance and paperwork, and \$1,000 each month for daily operations. Mr. Sam Morgan will obtain his water license in the near future and at that point he will take over operations. There was some discussion about reading meters. Mayor Vargus reviewed the cost savings to the town and the future plans for operations. Mayor Vargus stated the financial controls ordinance allows him to hire temporary employees, so no action is required by council at this point.

MOTION: *No motion was made.*

Discussion of Rocky Point Water System/Last Resort Water System (Vargus)

(Agenda Item D.6)

Mayor Vargus reported that the interconnect between Rocky Point water system and Last Resorts water system is in place. Mayor Vargus reported that it was discovered that the “water main” in the Last Resort Water System is a one-inch irrigation pipe. There was some discussion about plans to connect the Last Resort water system to the six-inch water main which was stubbed out from the Rocky Point water system on Garza Lane. Mayor Vargus reported that he is working on the sale-transfer-merger application for taking ownership of the Last Resort water system. There was some discussion about billing rates and the process for setting up the Last Resort water customers.

Discussion of Remote Read Water Meters (Vargus)

(Agenda Item D.7)

Mayor Vargus reported that Mayor Pro-Tem West has done a lot of research on remote read meters. Master Meter seems to be the best fit for Lakewood Village because it does not require cellular data or special meter boxes. There was some discussion about the integration between the Master Meter and MuniBilling systems. Mayor Vargus reported on the alerts and notifications available through the Master Meter system. There was some discussion about the regulation of lead used in water meters. A tower which is 60 feet tall is required for remote read meters which will broadcast one and one-half miles. After the tower is installed the town can install repeaters on light poles. There was some discussion about installing the tower on the property owned by the town in Rocky Point or obtaining approval from Denton County to install a tower on one of the small lots at the foot of the toll bridge. The cost of the tower, integration, and first year start up is approximately \$80,000. After the first year the cost is approximately \$3,000 annually. The cost of a remote read meter and installation is approximately \$500. There was some discussion about cost sharing with another water system or municipality. There was some discussion about a phased approach to transitioning to remote read meters.

Discussion of Parking in Construction Zones (Vargus)

(Agenda Item D.8)

Mayor Vargus stated that issues have come up regarding on-street parking in construction areas. There was discussion about posting of signs and enforcement.

Discussion of Nuisance Ordinance (Vargus)

(Agenda Item D.9)

Mayor Vargus reviewed the history of the nuisance ordinance. There was some discussion about including of a provision restricting noise. Mayor Vargus stated the ordinance could be written so the owner of the property is also held responsible for violations on property being used or rented by another.

EXECUTIVE SESSION:

(Agenda Item G)

At 8:27 p.m. Mayor Vargus recessed into executive session in accordance with (1) § 551.071(2), Texas Government Code to wit: consultation with Town Attorney on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter to receive legal advice re: Development agreements, development and zoning standards; (2) § 551.071(1) Texas Government Code to wit: Consultation with the Town Attorney regarding pending or contemplated litigation, re: Town of Lakewood Village V. Patterson Professional Services; (3) § 551.074 Texas Government Code to wit: Personnel Matters – Annual Performance Review of Town Secretary; (4) § 551.072 Texas Government Code to wit: deliberations about real property regarding Sam Hill Ventures, Sanctuary at Sunset Cove, and Project Left Field; and (5) § 551.087 Texas Government Code to wit: Economic Development Negotiations regarding Sam Hill Ventures, and Sanctuary at Sunset Cove, and Project Left Field.

RECONVENE:

(Agenda Item F)

Mayor Vargus reconvened the regular session at 9:22 p.m. No action was taken.

ADJOURNMENT

(Agenda Item G)

MOTION: Upon a motion made by Councilwoman Lepley and seconded by Councilman Bushong council voted five (5) “ayes” and no (0) “nays” to adjourn the Regular Meeting of the Lakewood Village Town Council at 9:22 p.m. on Thursday November 12, 2020. The motion carried.

**LAKWOOD VILLAGE TOWN COUNCIL
REGULAR SESSION
NOVEMBER 12, 2020**

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These minutes approved by the Lakewood Village Town Council on the 10th day of December 2020.

APPROVED:

Darrell West
MAYOR PRO-TEM

ATTEST:

Linda Asbell, TRMC, CMC
TOWN SECRETARY



MEMORANDUM

TO: Town Council
FROM: Linda Asbell, TRMC, CMC, Town Administrator/Town Secretary
DATE: December 4, 2020
RE: Agenda Item D.3. – Reappointment of Presiding Judge Bertrand

Ordinance 19-06 establishes our Municipal Court of Record. Section 4.5 establishes a two-year term for the Presiding Judge which coincide with the mayor's term of office. Judge Bertrand has been serving the Town of Lakewood Village since on August 8, 2011.

To reappoint Judge Bertrand for an additional two years council simply needs to vote to reappoint him for an additional term.



VARIANCE REQUEST

100 Highridge Drive
Lakewood Village, TX 75068
(972) 294-5555 Office (972) 292-0812 Fax
linda@lakewoodvillagetx.us

BUILDING DEPARTMENT

REVISED: 10/09/2014

SUBMITTAL REQUIREMENTS

If the applicant is not the owner, a letter signed and dated by the owner certifying their ownership of the property and the authorizing the applicant to represent the person, organization, or business that owns the property.

If not platted, a metes and bounds legal description of the property.

A written statement documenting the reason for the variance(s), including evidence that the request complies with the following criteria as required for approval of a variance.

- 1) A unique physical condition exists within or adjacent to the subject tract or structure(s) located thereon which distinguishes it from other similarly situated, and which creates an exceptional hardship, difficulty, or inequity that would result from literal enforcement of the ordinance;
- 2) The condition or characteristic noted above is not caused by an action of the property owner, occupant, or applicant;
- 3) The variance is the minimum amount necessary to allow a reasonable use of the property;
- 4) The sole reason for the variance is not a desire of the owner, occupant, or applicant for increased financial gain or reduced financial hardship;
- 5) The variance will not adversely affect public health or safety, and will not substantially or permanently interfere with the appropriate use of adjacent conforming property in the same district; and,
- 6) The variance will not alter the essential character of the zoning district within which the subject property is located, and is in harmony with the intent and purposes of the zoning ordinance.

Site plan, submitted on drawing sheet size 11" X 17", showing:

- 1) Scale and north arrow;
- 2) Location of site with respect to streets and adjacent properties;
- 3) Property lines and dimensions;
- 4) Location and dimensions of buildings;
- 5) Building setback distances from property lines;
- 6) Location, dimensions, and surface type of off-street parking spaces and loading areas; and
- 7) Any other proposed features of the site which are applicable to the requested variance.

NOTICE

To the best of my knowledge, this application and associated documents are complete and correct, and it is understood that I or another representative should be present at all public meetings concerning this application.

Applicant Signature

Date

11-30-2020



BUILDING DEPARTMENT

VARIANCE REQUEST

100 Highridge Drive
Lakewood Village, TX 75068
(972) 294-5555 Office (972) 292-0812 Fax
linda@lakewoodvillagetx.us

REVISED: 10/09/2014

APPLICANT / OWNER	
Applicant Name <i>Jian (Jerry) Feng</i>	Address <i>820 Carrie Ln. Lakewood Village, Tx 75068</i>
Day Time Telephone <i>469-487-4584</i>	
Email <i>Jfeng@tamu.edu</i>	
Owner Name Same as Applicant? <input checked="" type="checkbox"/> Yes	Address
Day Time Telephone	
Email	
PROPERTY	
Address or General Location <i>820 Carrie Ln.</i>	
Legal Description (If Platted) <i>Lot 4 Block E Lakewood Village Section 5 Phase 2</i>	
Lot Size <input type="checkbox"/> Square Feet OR <input type="checkbox"/> Acres	Zoning Classification
Existing Use of Land and/or Building(s) <i>Residential</i>	
REQUESTED VARIANCE	
Variance to Section(s) of the Ordinance <i>19-02</i>	
Current Ordinance Requirement(s) <i>Front Facing Garages Not Permitted</i>	
Requested Variance(s) <i>Request Variance for additional "Boat" Garage which faces Front.</i>	



BUILDING DEPARTMENT

VARIANCE REQUEST

100 Highridge Drive
Lakewood Village, TX 75068
(972) 294-5555 Office (972) 292-0812 Fax
linda@lakewoodvillagetx.us

REVISED: 10/09/2014

TOWN USE ONLY	
Received By Linda Asbell	Receipt Number N/A
Date Submitted 11/30/2020	Case Number N/A
Date Notices Mailed N/A	Date Notice Published N/A
Town Council Meeting Date 12/10/2020	
Decision Variance request for front facing secondary garage	
Conditions	

GENERAL CONTRACTORS NOTES

1.)Prior to any construction, the Contractor shall familiarize himself with the Contract Documents and Specifications, the Plans, including all notes, the City Standard Details and Specifications and any other applicable Standards or Specifications relevant to the proper completion of the work specified. Failure on the part of the Contractor to familiarize himself with all standards and specifications pertaining to the work shall in no way relieve the Contractor of responsibility for performing the work in accordance with all such applicable Standards and Specifications.

2.)The Contractor shall have in his possession, prior to construction, all necessary permits, licenses, etc. The Contractor shall have at least one set of set of approved Plans and Specifications on-site at all times. The Contractor shall notify city buildings officials and/ or department 24 hours prior to the commencement of any work.

3.)Construction inspection may be performed by representatives of the Owner, Engineer, City, Geotechnical Engineer and Reviewing Authorities and Agencies. Unrestricted access shall be provided to them during normal working hours. The contractor is responsible for understanding and scheduling required inspections.

4.)All contractors must confine their activities to the work area. No encroachments outside of the defined work area will be allowed, unless specifically noted on the plans. Any damage resulting therefrom shall be the Contractor's responsibility to repair.

5.)It will be the responsibility of each contractor to protect all existing public and private utilities throughout the construction of this project. The Contractor shall contact the appropriate utility companies for line locations prior to the commencement of construction and shall assume full liability to those companies for any damages caused to their facilities.

6.)The Contractor shall be responsible for providing the required construction staking necessary to complete the construction in accordance with the plans and specifications.

7.)The Contractor shall be responsible for providing and maintaining all necessary barricading and all other warning and safety devices to protect the public safety and health until all work has been completed and accepted.

8.)If any unforeseen problems or conflicts are encountered in the course of construction, for which an immediate solution is not apparent, the Engineer and Owner shall be notified.

9.)The Contractor shall be responsible for removing any existing structures, fences, debris, or trees that are located within the boundaries of this project, unless otherwise noted on the plans.

10.)General Contractor shall be responsible for coordination of other trades (mech'l, elec'l, etc.) prior to fabrication and installation.

11.)General Contractor to be responsible for coordination of architectural and structural drawings prior to fabrication, forming, or placement of materials. General Contractor shall report discrepancies immediately to architect and shall proceed with construction only after discrepancy has been resolved.

GENERAL FRAMING NOTES

1.)Structure was designed in accordance to the International Residential Code 2015 Edition.

2.)All joists and rafters shall be aligned over studs below.

3.)All exterior corners (inside and out) shall be braced as required. Special city wind strength ordinances may apply

4.)Exterior walls 2 X 4 or 2 X 6 stud framing with veneers as selected, except where shown as 6" wall for plumbing supply and vents.

5.)Interior walls 2" X 4" stud with sheetrock face, except where shown as 6" wall for plumbing supply and vents, and for walls 10' in height or greater.

6.)Unless specifically noted otherwise, framing lumber shall be no. 2 or better southern pine with a modulus of elasticity of 1,600,000 psi. Interior wall studs may be no. 2 or better Douglas fir or S. pine, or no.2 or better SPF.

7.)Wood roof and floor trusses if used shall be fabricated, handled, and erected in accordance with truss plate institute standards and IBC standards. Truss design drawings sealed by a registered professional engineer shall be provided to the owner prior to erection of the trusses. The truss webs and bottom chords shall have their individual 2" thick components glued together as well as nailed per the truss plate pattern. The truss members shall all be minimum 2x4 no.2 or better.

8.) Coordinate and adjust, as necessary, the typical framing member spacing with lighting and electrical locations shown.

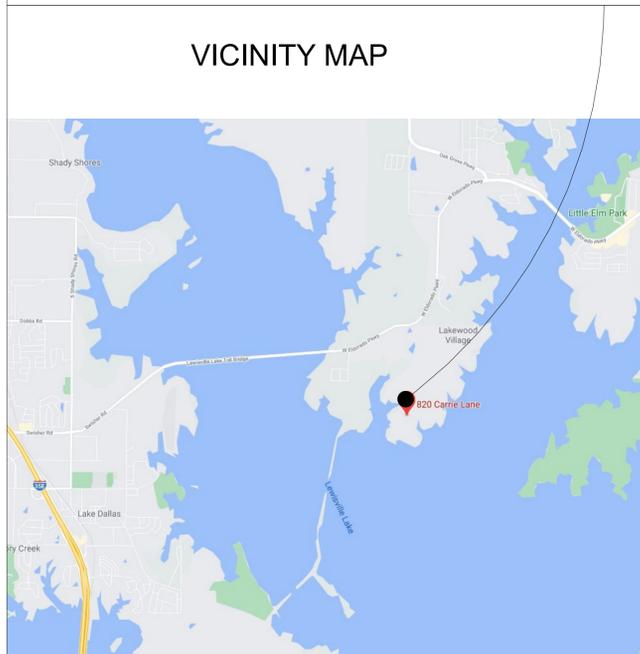
9.)When two roofs intersect with different roof pitches, block top of stud walls to align fascia.

10.)Wood connections to be Simpson ties or equivalent.

11.)All structural steel shall be A36 except TS shapes shall be A500 GR. B. Steel joists and joist girders shall meet all specifications of the latest S.J.I. edition. Fy=50 KSI. All bolted connections shall use a325 bolts unless noted otherwise. All welds shall be made using E70 electrodes. Headed studs shall be Nelson or better. Temporary construction bracing of the structural steel frame shall remain in place until after the floor and roof deck attachments have been completed and all permanent bracing has been installed.

GENERAL CONCRETE NOTES

1.)Do not use foundation/floor plan outline plan for actual construction. Foundation documents must be drawn & sealed by a registered engineer. Peskuski Home Design assumes no responsibility for slab strength or integrity. REF STRUCTURAL DOCS FOR ALL DROPS/SLOPES IN FOUNDATION.



VICINITY MAP

SHEET INDEX	
CS	COVER SHEET
A1	PROJECT OVERVIEW
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	FRONT/REAR ELEVATIONS
A5	LEFT/RIGHT ELEVATIONS
A6	ROOF/PLAT PLAN
A7	DOOR/WINDOW SCHEDULES
A8	FIRST FLR ELECTRICAL
A9	SECOND FLR ELECTRICAL
D1	CONSTRUCTION DETAILS

COVER SHEET

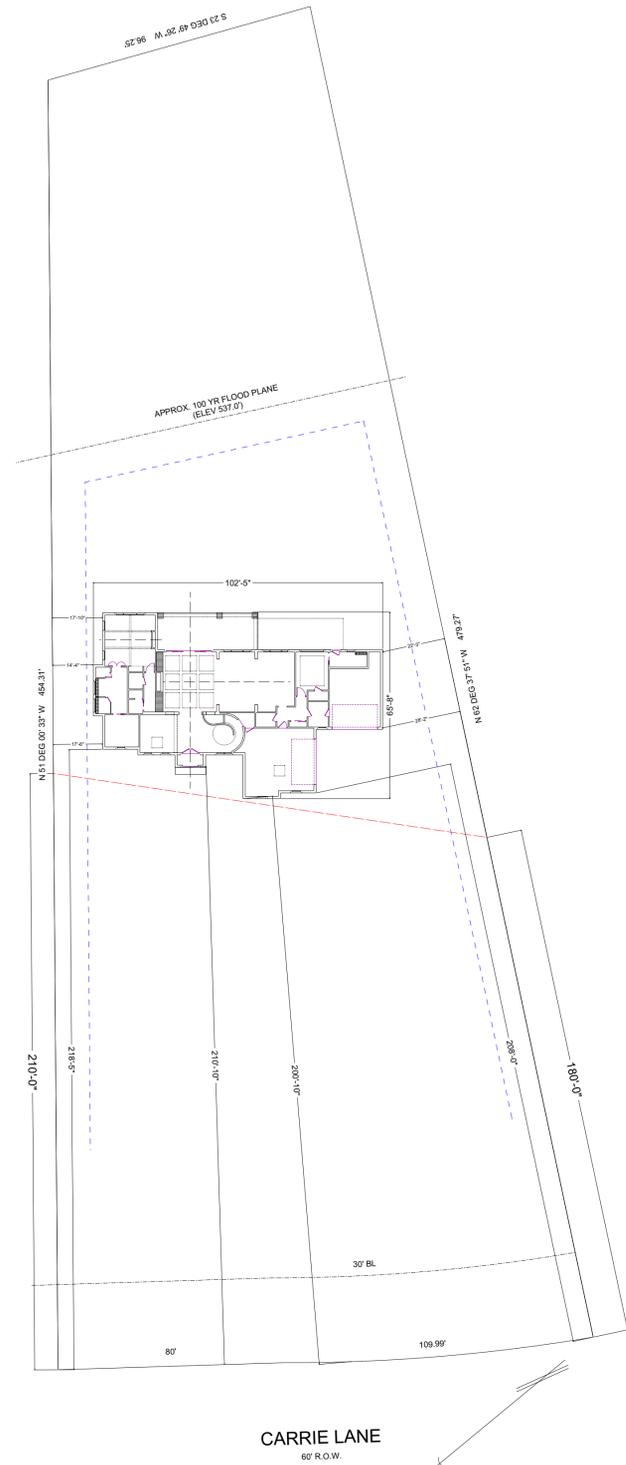
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10/30/2020

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**FENG RESIDENCE
820 CARRIE LANE
LOT 4, BLOCK E
LAKEWOOD VILLAGE, TX**

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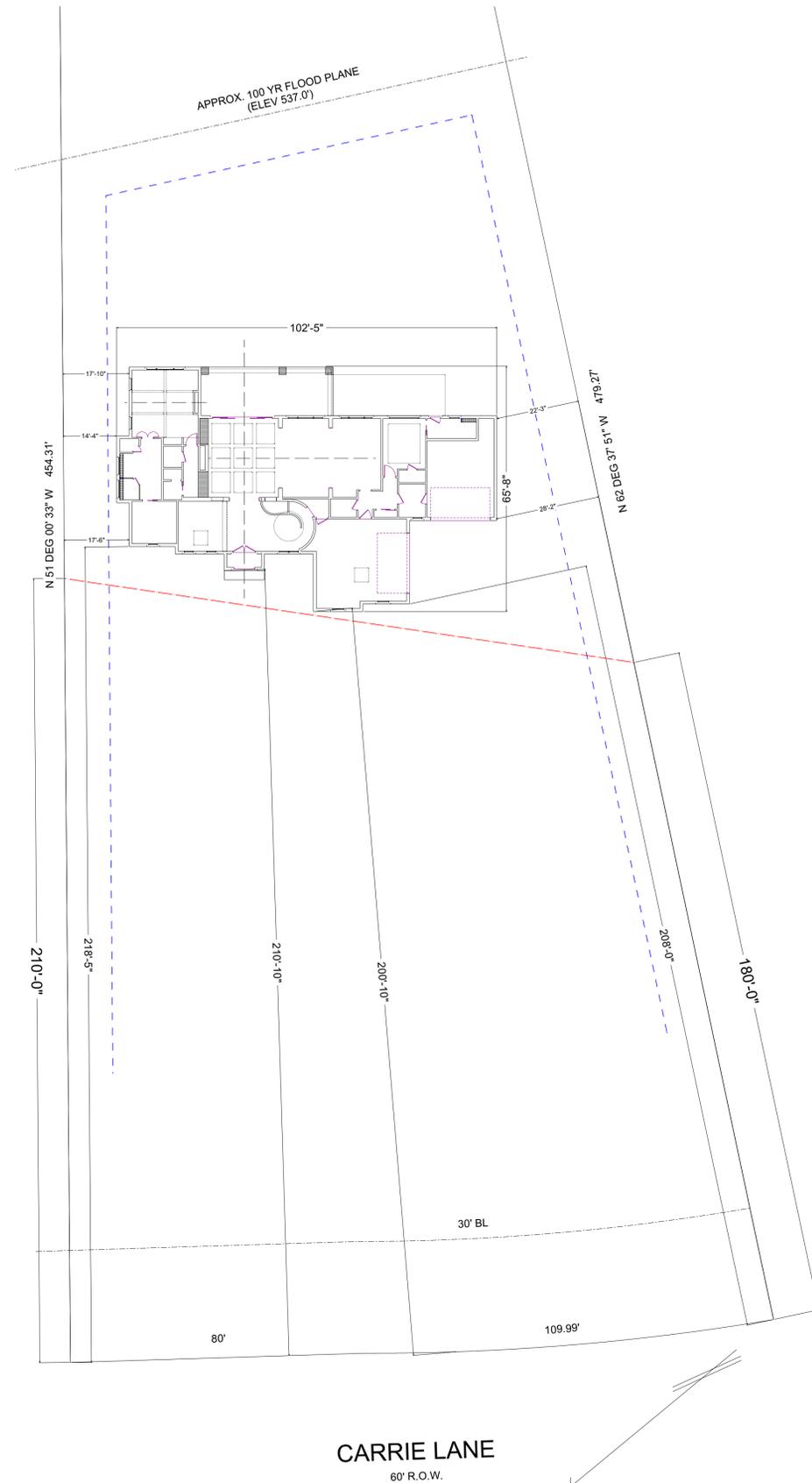
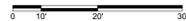
SHEET
CS



CARRIE LANE
60' R.O.W.

SITE PLAN

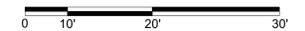
SCALE: 1" = 30'



CARRIE LANE
60' R.O.W.

SITE PLAN

SCALE: 1" = 20'



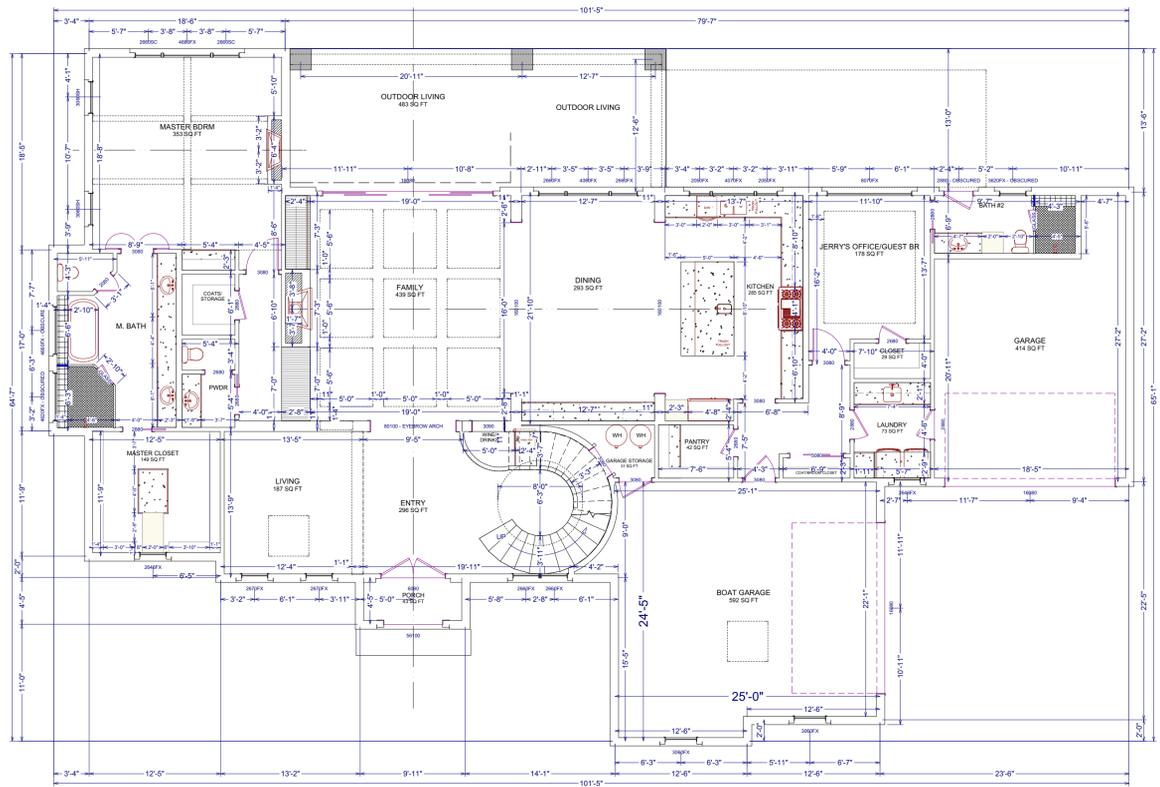
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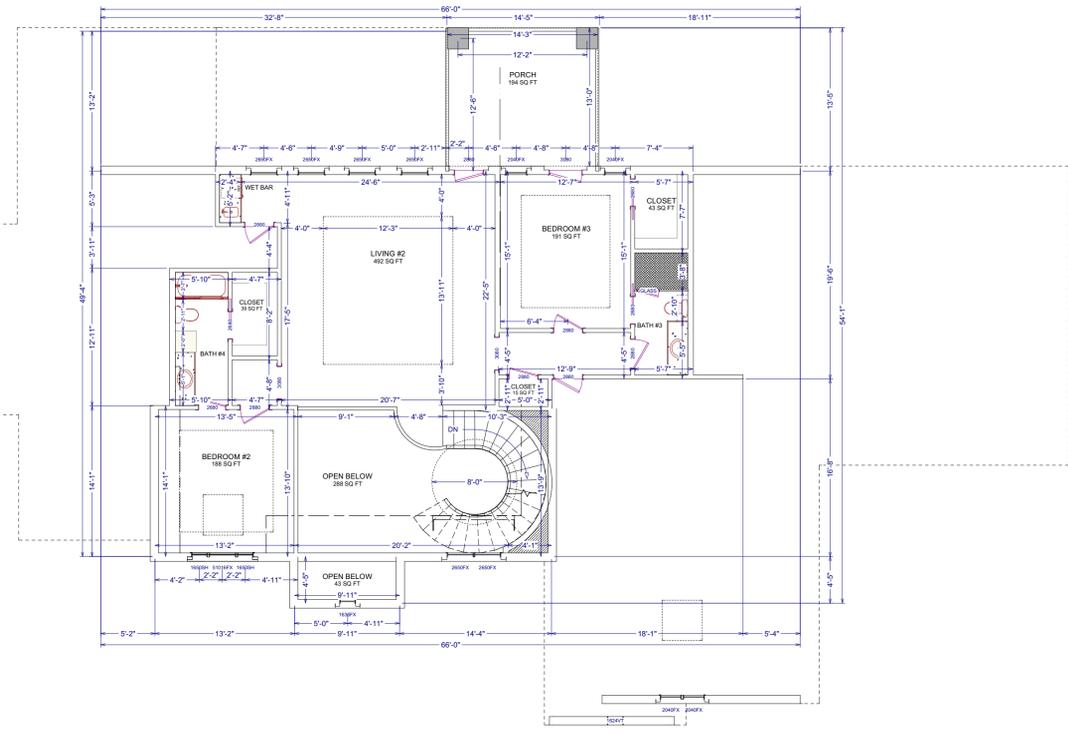
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SHEET
A-0



FIRST FLOOR



SECOND FLOOR

NOTES:

1. COMPLY WITH ALL STATE, COUNTY, AND LOCAL BUILDING CODES, ORDINANCES AND REGULATIONS PERTAINING TO CONSTRUCTION.
2. CONNECT WATER, GAS, AND ELECTRIC LINES TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES, IF NEEDED.
3. MINIMUM FINISHED FLOOR ELEVATION WILL BE AT LEAST 2' ABOVE MINIMUM FEMA 100 YEAR FLOOD ELEVATION, OR AS NOTED ON SITE.
4. ALL FOOTINGS TO EXTEND BELOW GRADE MINIMUM AS PER LOCAL CODE AT BEARING WALLS. INTERIOR BEARING FOOTINGS 6" INTO NATURAL GRADE UNLESS OTHERWISE NOTED.
5. EXTERIOR WALLS 2" X 4" OR 2" X 6" STUD FRAMING WITH VENEERS AS SELECTED.
6. INTERIOR WALLS 2" X 4" WOOD STUD WITH SHEETROCK FACE, EXCEPT WHERE SHOWN AS 6" WALL FOR PLUMBING SUPPLY AND VENTS
7. VENT ALL PLUMBING STACKS TO REAR OF HOUSE
8. HEADER HEIGHTS SHOWN ARE TOP OF WINDOW HEIGHTS
9. PER SECTION 907.2.18.1 IBC SMOKE DETECTOR LOCATIONS SHOWN ON ELECTRICAL PLAN.
10. DIMENSIONS AND SCALE ONLY ACCURATE IF PLOTTED ON 24"X36" PAGE.
11. DIMENSIONS SHOWN MEASURE TO STUD WALL - THICKNESS OF VENEERS, FOOTINGS, SHEETROCK, ETC. NOT INCLUDED.
12. SAFETY GLASS TO BE USED IN ALL HAZARDOUS AREAS, INCLUDING WET AREAS,

AREAS (SQ FT)

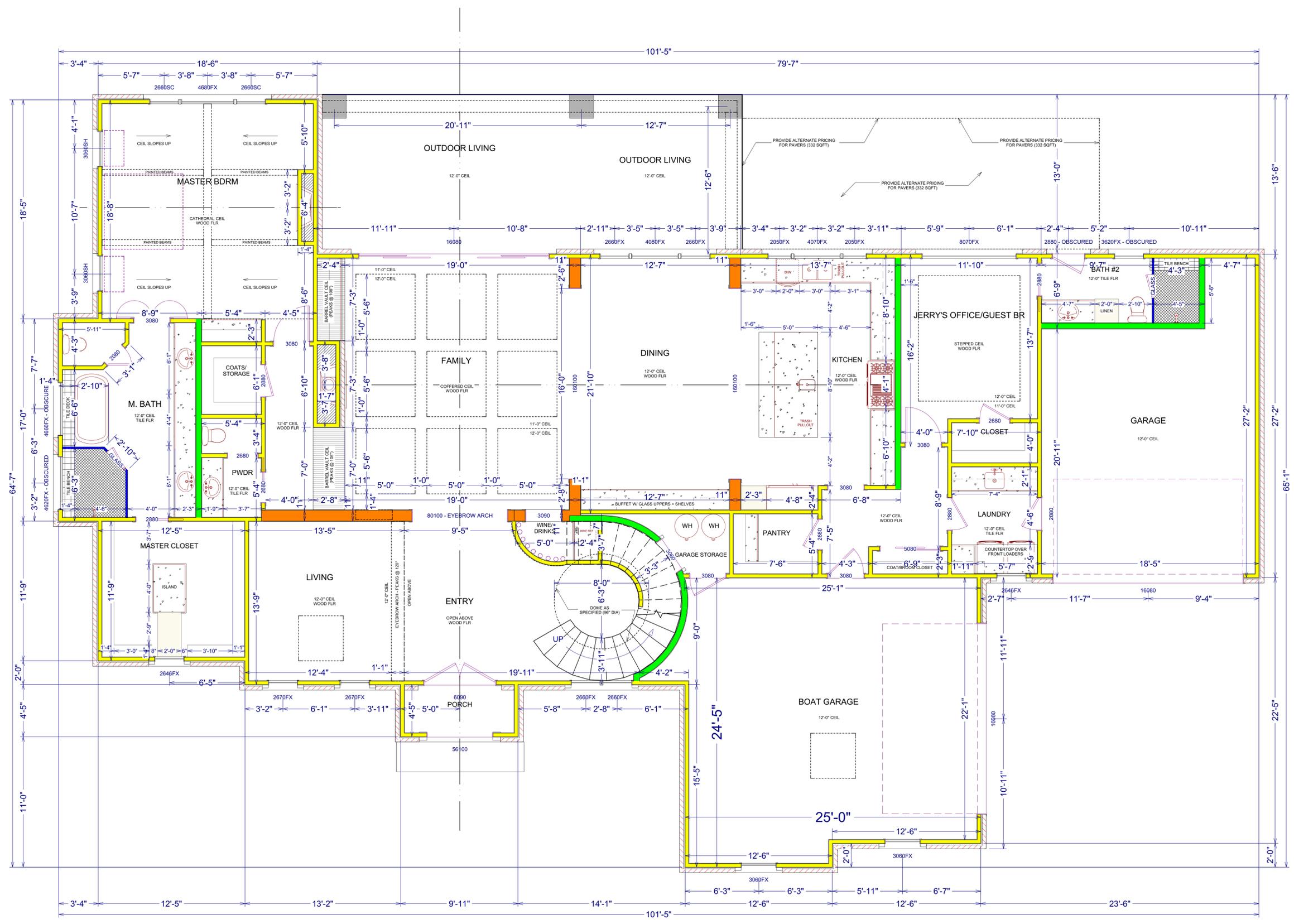
LIVING AREAS	
1ST FLOOR A/C	2935
2ND FLOOR A/C	1188
TOTAL A/C	4123
NON LIVING AREAS	
BOAT GARAGE	592
GARAGE	414
GARAGE STORAGE	31
FRONT PORCH	43
OUTDOOR LIVING	483
2ND FLR PORCH	194

PROJECT OVERVIEW

SCALE: 1/8" = 1'



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MECHANICAL NOTES

- 1) AIR FILTERS TO BE MERV 8 OR GREATER
- 2) AIR HANDLERS SIZED TO MAINTAIN AIR PRESSURE AND AIR FLOW
- 3) AIR FILTER HOUSING TO BE AIRTIGHT
- 4) HVAC LOCATED IN ATTIC UNLESS NOTED OTHERWISE

GREEN PLAN REVIEW NOTES

- 1) ALL PENETRATIONS ABOVE GARAGE ARE SEALED
- 2) FLOOR AND CEILING JOIST BAYS ARE SEALED
- 3) ALL WALLS IN CONDITIONED SPACES ARE SEALED/PAINTED
- 4) ENERGY STAR DISHWASHER (6.0 GALLONS OR LESS PER CYCLE), OR ENERGY STAR CLOTHES WASHER (WITH ENERGY FACTOR > 2.0 AND < 5.5) TO BE USED
- 5) ALL 2X4 STUD WALLS TO HAVE AN INSULATION VALUE OF R-19 OR GREATER - ALL 2X4 STUD WALLS TO HAVE AN INSULATION VALUE OF R-13 OR GREATER, PLUS R-5 RIGID FOAM BOARD INSULATION.
- 6) ATTIC TO HAVE AN INSULATION VALUE OF R-38 OR GREATER, IN ADDITION TO A RADIANT BARRIER.
- 7) ALL PLANT BEDS AND BEDDING AREAS TO BE IRRIGATED WITH DRIP EMITTERS
- 8) 70% (OR GREATER) OF THE NON-ROOF AREA OF THE LOT COVERED WITH VEGETATIVE LANDSCAPE OR PERMEABLE PAVING

WALL TYPES

ICF BRICK	
ICF STONE	
ICF BLOCK	
ICF STUCCO	
BRICK 6"	
BRICK 4"	
STONE 6"	
STONE 4"	
STUCCO 6"	
STUCCO 4"	
INTERIOR 6"	
INTERIOR 4"	
DECD WALL 12"	
GLASS WALL	

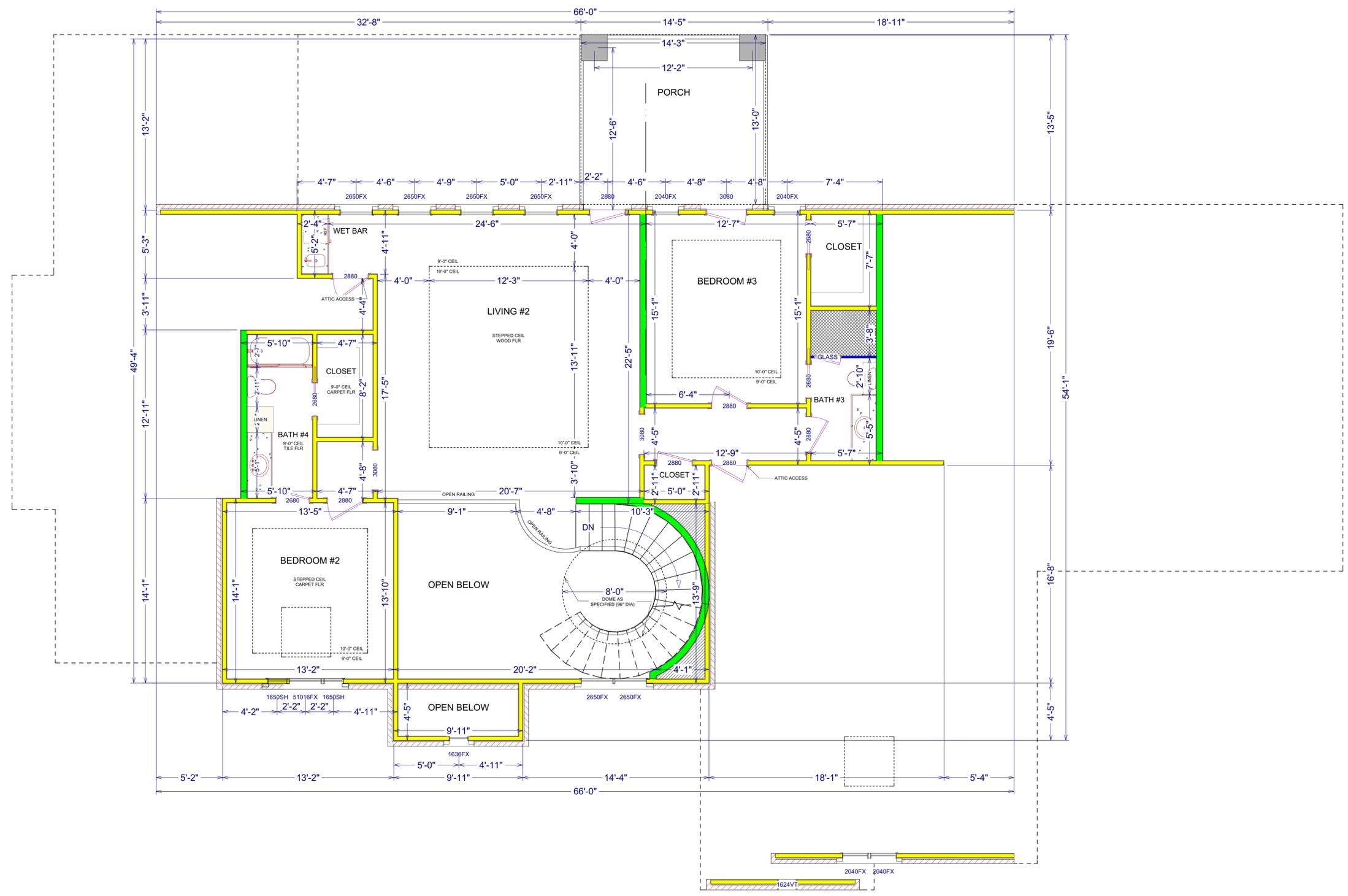
FIRST FLOOR PLAN SCALE: 1/4" = 1'



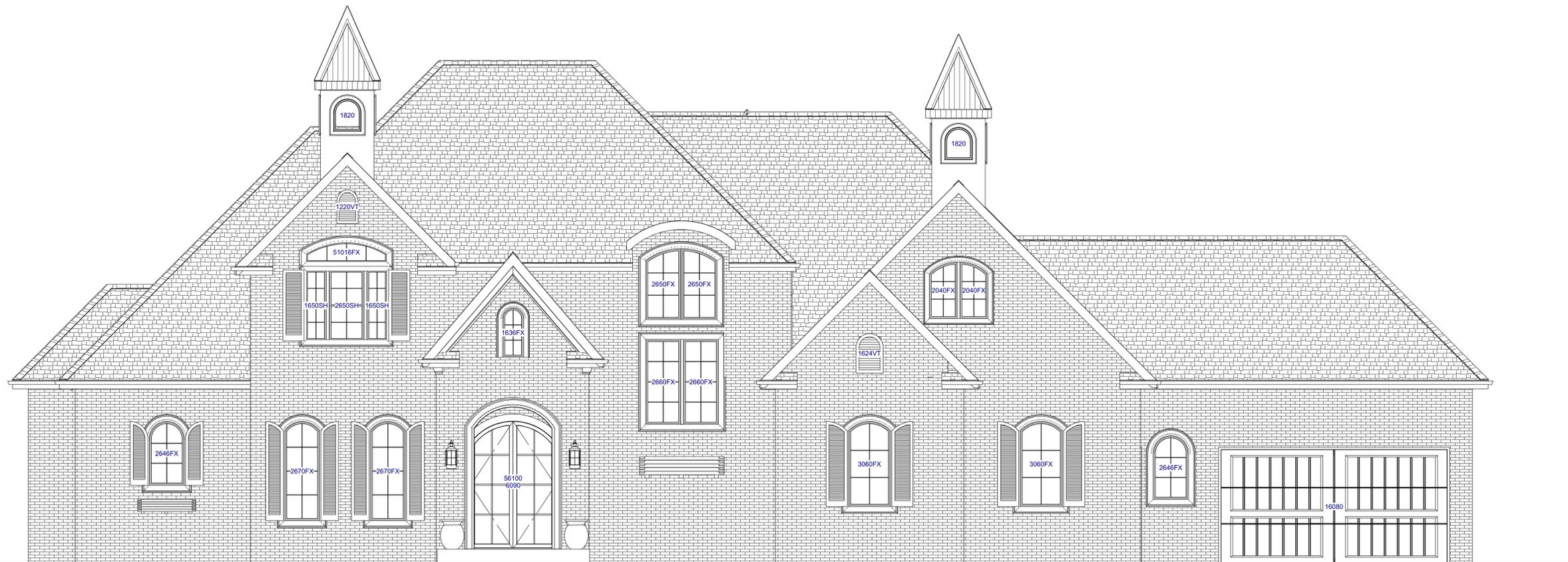
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WALL TYPES	
ICF BRICK	
ICF STONE	
ICF BLOCK	
ICF STUCCO	
BRICK 6"	
BRICK 4"	
STONE 6"	
STONE 4"	
STUCCO 6"	
STUCCO 4"	
INTERIOR 6"	
INTERIOR 4"	
DECC WALL 12"	
GLASS WALL	



SECOND FLOOR PLAN
SCALE: 1/4" = 1'



FRONT ELEVATION



REAR ELEVATION

FRONT/REAR ELEVATIONS

SCALE: 1/4" = 1'



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FENG RESIDENCE
820 CARRIE LANE
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LAKEWOOD VILLAGE, TX

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SHEET

A-4



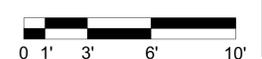
LEFT ELEVATION



RIGHT ELEVATION

LEFT/RIGHT ELEVATIONS

SCALE: 1/4" = 1'



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SHEET

A-5



RENDERINGS
NOT TO SCALE

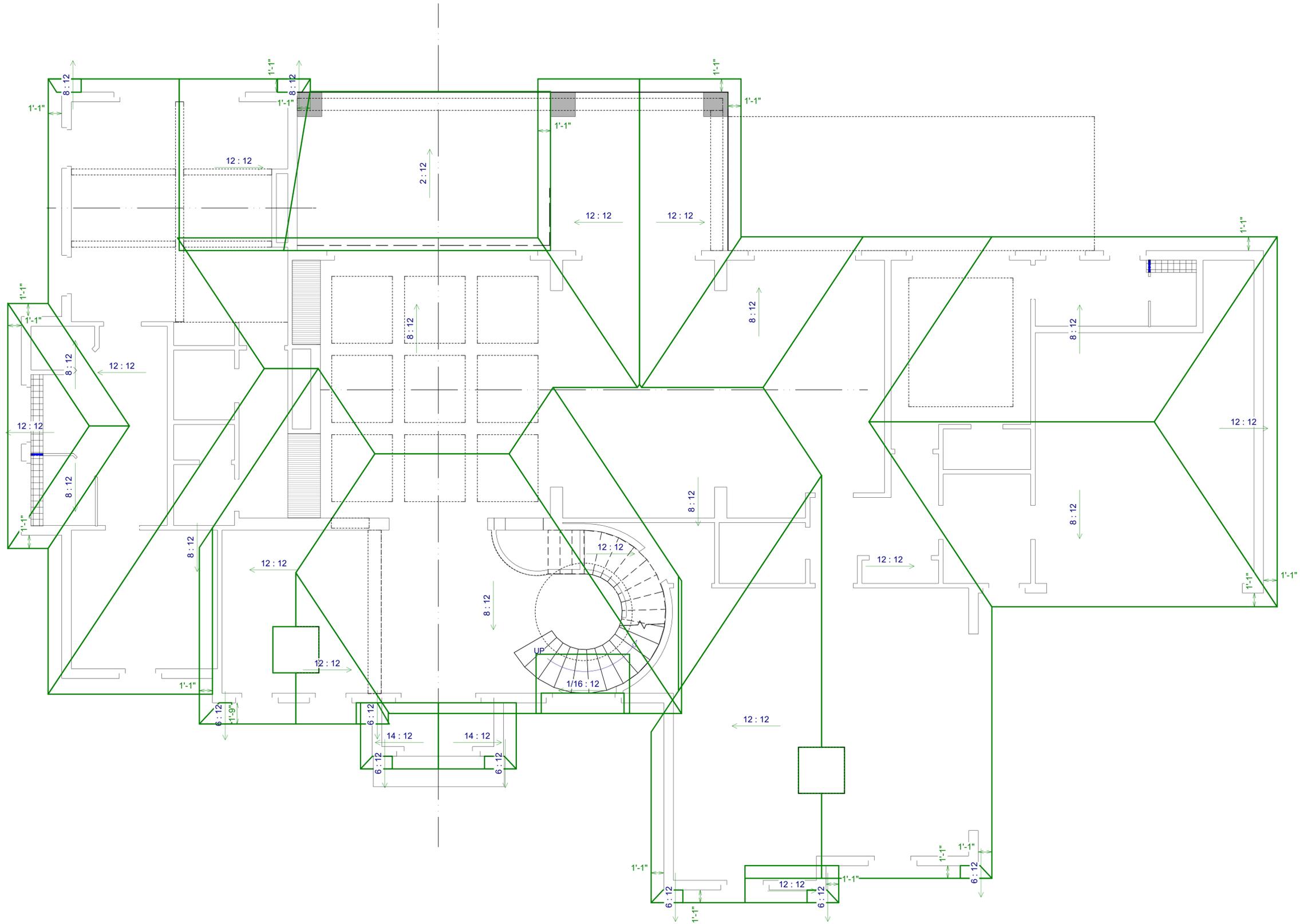
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SHEET
R-1



ROOF PLAN
SCALE: 3/16" = 1'

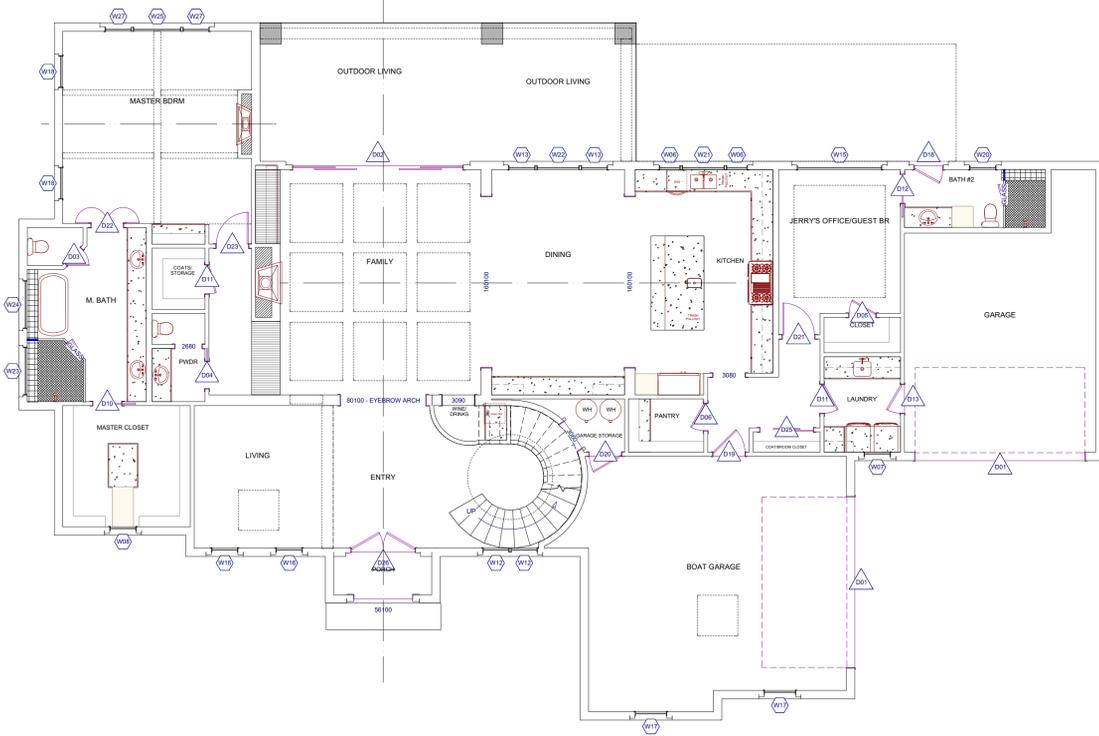
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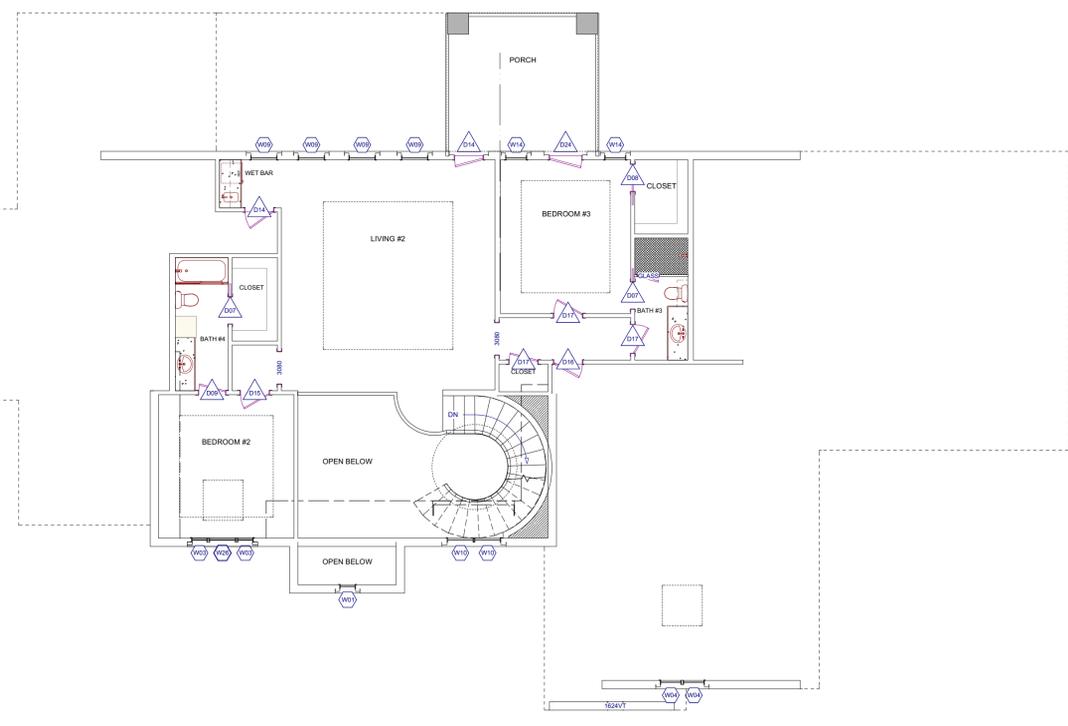
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SHEET
A-6



FIRST FLOOR



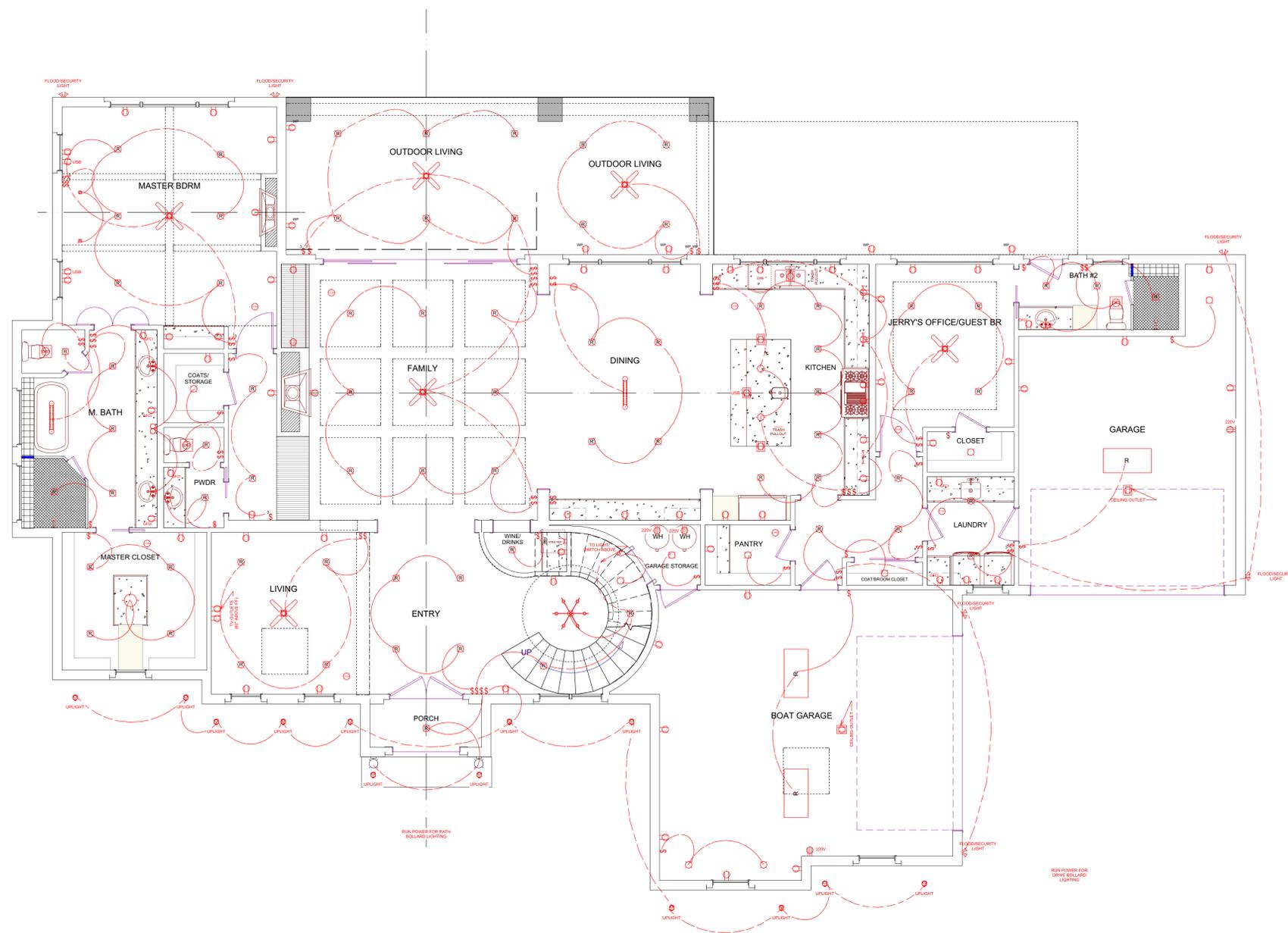
SECOND FLOOR

DOOR SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	BOTTOM	TOP
D01	16080	2	1	16080	192"	96"	GARAGE-GARAGE DOOR CHD21	0"	96"
D02	16080	1	1	16080 L/R EX	192"	96"	EXT. QUAD SLIDER-GLASS	0"	96"
D03	2080	1	1	2080 R IN	24"	96"	HINGED-DOOR P01	0"	96"
D04	2680	1	1	2680 L	30"	96"	POCKET-DOOR P01	0"	96"
D05	2680	1	1	2680 R IN	30"	96"	HINGED-DOOR P01	0"	96"
D06	2680	1	1	2680 R IN	30"	96"	HINGED-SLAB	0"	96"
D07	2680	2	2	2680 L	30"	96"	POCKET-DOOR P01	0"	96"
D08	2680	1	2	2680 R	30"	96"	POCKET-DOOR P01	0"	96"
D09	2680	1	2	2680 R IN	30"	96"	HINGED-DOOR P01	0"	96"
D10	2880	1	1	2880 L	32"	96"	POCKET-SLAB	0"	96"
D11	2880	2	1	2880 L IN	32"	96"	HINGED-DOOR P01	0"	96"
D12	2880	1	1	2880 R	32"	96"	POCKET-DOOR P01	0"	96"
D13	2880	1	1	2880 R EX	32"	96"	EXT. HINGED-SLAB	0"	96"
D14	2880	2	2	2880 L EX	32"	96"	EXT. HINGED-GLASS	0"	96"
D15	2880	1	2	2880 L IN	32"	96"	HINGED-DOOR P01	0"	96"
D16	2880	1	2	2880 R EX	32"	96"	EXT. HINGED-SLAB	0"	96"
D17	2880	3	2	2880 R IN	32"	96"	HINGED-DOOR P01	0"	96"
D18	2880 - OBSCURED	1	1	2880 R EX	32"	96"	EXT. HINGED-GLASS	0"	96"
D19	3080	1	1	3080 L EX	36"	96"	EXT. HINGED-SLAB	0"	96"
D20	3080	1	1	3080 L IN	36"	96"	HINGED-DOOR P01	0"	96"
D21	3080	1	1	3080 L IN	36"	96"	HINGED-SLAB	0"	96"
D22	3080	1	1	3080 L/R IN	36"	96"	DOUBLE HINGED-SLAB	0"	96"
D23	3080	1	1	3080 R IN	36"	96"	HINGED-DOOR P01	0"	96"
D24	3080	1	2	3080 R EX	36"	96"	EXT. HINGED-GLASS	0"	96"
D25	5080	1	1	5080 R IN	60"	96"	SLIDER-DOOR P04	0"	96"
D26	6090	1	1	6090 L/R EX	72"	108"	EXT. DOUBLE HINGED-AT-GLASS	0"	108"

WINDOW SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	BOTTOM	TOP	DESCRIPTION	
W01	1636FX	1	2	1636FX	18"	42"	0"	42"	FIXED GLASS-CT	
W02	1636FX	1	2	1636FX	18"	42"	31 1/2"	73 1/2"	FIXED GLASS-CT	
W03	1650SH	2	2	1650SH	18"	60"	14"	74"	SINGLE HUNG	
W04	2040FX	2	2	2040FX	24"	48"	44"	92"	FIXED GLASS-AT	
W06	2050FX	2	1	2050FX	24"	60"	36"	96"	FIXED GLASS	
W07	2646FX	1	1	2646FX	30"	54"	42"	96"	FIXED GLASS-CT	
W08	2646FX	1	1	2646FX	30"	54"	54"	108"	FIXED GLASS-CT	
W09	2650FX	4	2	2650FX	30"	60"	30"	90"	FIXED GLASS-AT	
W10	2650FX	2	2	2650FX	30"	60"	32"	92"	FIXED GLASS-AT	
W11	2650SH	1	2	2650SH	30"	60"	14"	74"	SINGLE HUNG	
W12	2660FX	2	1	2660FX	30"	72"	105 1/2"	177 1/2"	FIXED GLASS	
W13	2660FX	2	1	2660FX	30"	72"	24"	96"	FIXED GLASS	
W14	2040FX	2	2	2040FX	24"	48"	48"	96"	FIXED GLASS	
W15	8070FX	1	1	8070FX	96"	84"	24"	108"	FIXED GLASS	
W16	2670FX	2	1	2670FX	30"	84"	24"	108"	FIXED GLASS-AT	
W17	3060FX	2	1	3060FX	36"	72"	48"	120"	FIXED GLASS-AT	
W18	3060SH	2	1	3060SH	36"	72"	24"	96"	SINGLE HUNG	
W20	3620FX - OBSCURED	1	1	2630FX	30"	36"	84"	120"	FIXED GLASS-AT	
W21	4070FX	1	1	4070FX	48"	84"	36"	120"	FIXED GLASS-CT	
W22	4080FX	1	1	4080FX	48"	96"	24"	120"	FIXED GLASS-CT	
W23	4620FX - OBSCURED	1	1	4620FX	54"	24"	96"	120"	FIXED GLASS	
W24	4660FX - OBSCURED	1	1	4660FX	54"	72"	48"	120"	FIXED GLASS	
W25	4680FX	1	1	4680FX	54"	96"	30"	126"	FIXED GLASS-CT	
W26	51016FX	1	2	51016FX	70"	18"	80"	98"	FIXED GLASS-AT	
W27	2660SC	2	1	2660SC	30"	72"	30"	102"	SNGL CASEMENT-HR	

DOOR/WINDOW SCHEDULES

SCALE: 1/8" = 1'



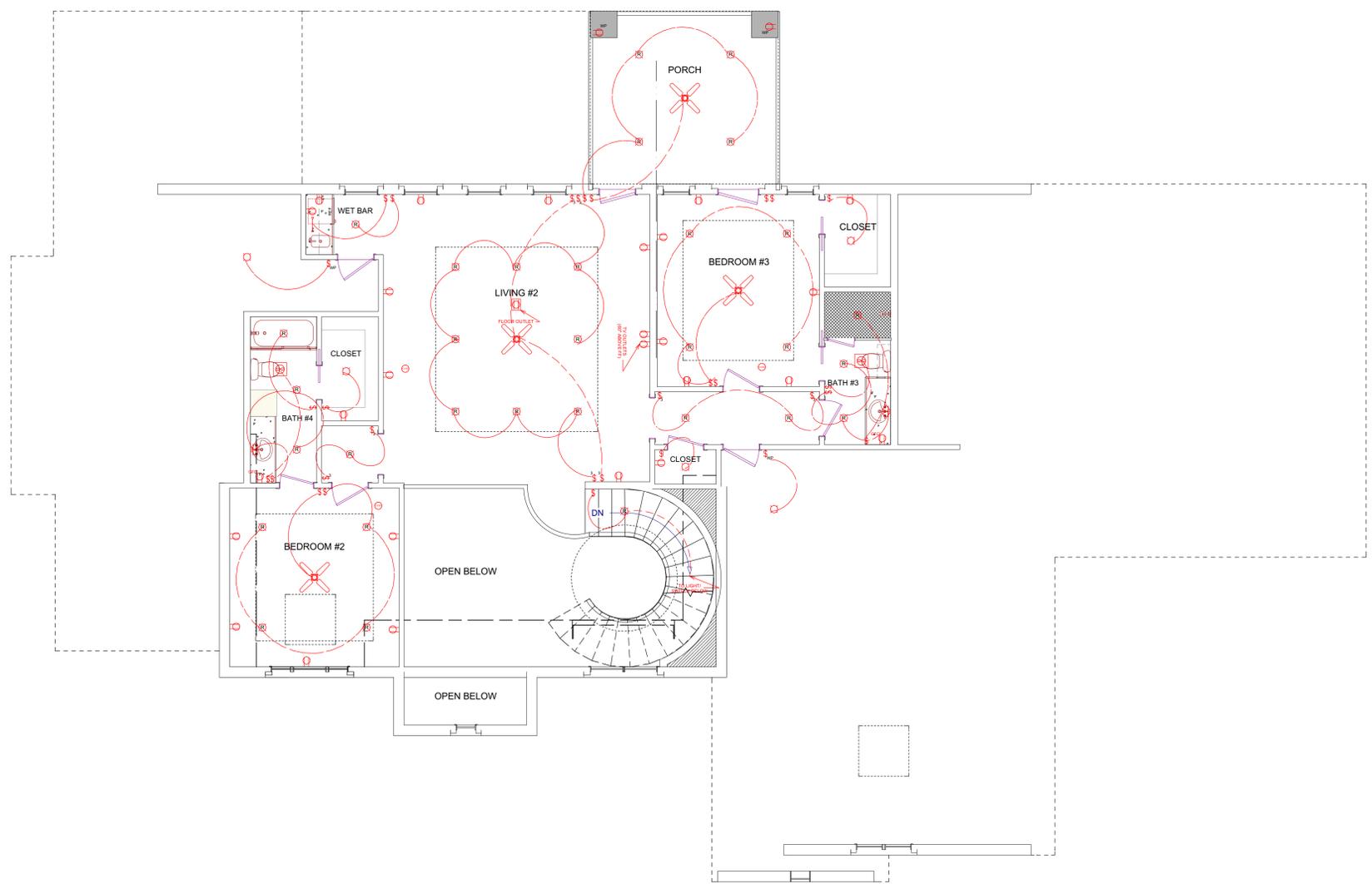
ELECTRICAL SYMBOLS/ NOTES			
	ELECTRIC METER		SMOKE/CO2 DETECTOR
	OUTLET		ELECTRIC PANEL
	GFI OUTLET		CAT-5/6 OUTLET
	EXTERIOR OUTLET		PHONE
	CHRISTMAS PLUG (IN SOFFET)		TV
	FLOOR OUTLET		SECURITY PAD
	220V OUTLET		DOOR BELL
	WALL MOUNT LIGHT		THEROMSTAT
	FLUSH MOUNT LIGHT		FLUORESCENT LIGHTS
	UNDER/OVER CABINET LT		EXHAUST FAN/ FAN LIGHT
	RECESSED CAN		CEILING FAN
	WALL WASHER		
	CHANDELIER		
	SWITCH		
	3 WAY SWITCH		
	DIMMER SW		
	VANITY LIGHTS		
	EXTERIOR UP FLOOD LIGHTING		
	COACH LIGHT		
	POINT LIGHTING		
			FOR FAN+ LIGHT KIT REQ. 2 SW ON WALL (ONE CONNECTION SHOWN)
			SMOKE DETECTOR
			EXTERIOR FLOOD LIGHTS ON GARAGE TIMER WITH MASTER BR SWITCH OR AS NOTED
			WALL SCONCES
			PENDANT LIGHTS
			SPEAKER

1. TELEPHONE/COMPUTER WIRING "CAT-5/6" WITH HOME RUNS TO CENTRAL PATCH PANEL
2. SECURITY SYSTEM PER HOMEOWNER/ BUILDER

ELECTRICAL SYSTEM TO BE PROVIDED PER 2017 NEC
ELECTRICAL SYSTEM GROUND TO BE PROVIDED PER NEC, ART. 250-81 - 2016 NEC
CONVENIENCE OUTLETS IN BATHROOMS, KITCHEN COUNTERTOPS WITHIN SIX FEET OF THE KITCHEN SINK, OUTDOORS, AND IN GARAGES AND BASEMENTS (OTHER THAN FOR LAUNDRY OR SIMILAR EQUIPMENT) SHALL BE GFCI PROTECTED. NEC, ART. 210-8.
THE ELECTRICAL PLAN(S) INCLUDED IN THESE DOCUMENTS IS/ARE INTENDED AS A GUIDE ONLY. THE GENERAL CONTRACTOR/BUILDER SHALL VERIFY ALL ELECTRICAL SERVICE, INSTALLATION, AND THE LOCATION OF ALL: SWITCHES, FIXTURES, EQUIPMENT, OUTLETS, ELECTRICAL PANEL, ETC. ACCORDING TO LOCAL AND NATIONAL ELECTRICAL CODES.
LIGHTING SHOWN IS OPTIONAL AND IS AT THE DISCRETION OF THE OWNER.

FIRST FLOOR
ELECTRICAL
SCALE: 3/16" = 1'

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ELECTRICAL SYMBOLS/ NOTES			
	ELECTRIC METER		SMOKE/CO2 DETECTOR
	OUTLET		ELECTRIC PANEL
	GFI OUTLET		CAT-5/6 OUTLET
	EXTERIOR OUTLET		PHONE
	CHRISTMAS PLUG (IN SOFFET)		TV
	FLOOR OUTLET		SECURITY PAD
	220V OUTLET		DOOR BELL
	WALL MOUNT LIGHT		THEROMSTAT
	FLUSH MOUNT LIGHT		FLUORESCENT LIGHTS
	UNDER/OVER CABINET LT		EXHAUST FAN/ FAN LIGHT
	RECESSED CAN		CEILING FAN
	WALL WASHER		CHANDELIER
	SWITCH		SMOKE DETECTOR
	3 WAY SWITCH		EXTERIOR FLOOD LIGHTS ON GARAGE
	DIMMER SW		TIMER WITH MASTER BR SWITCH OR AS NOTED
	VANITY LIGHTS		WALL SCONCES
	EXTERIOR UP FLOOD LIGHTING		PENDANT LIGHTS
	COACH LIGHT		SPEAKER
	POINT LIGHTING		

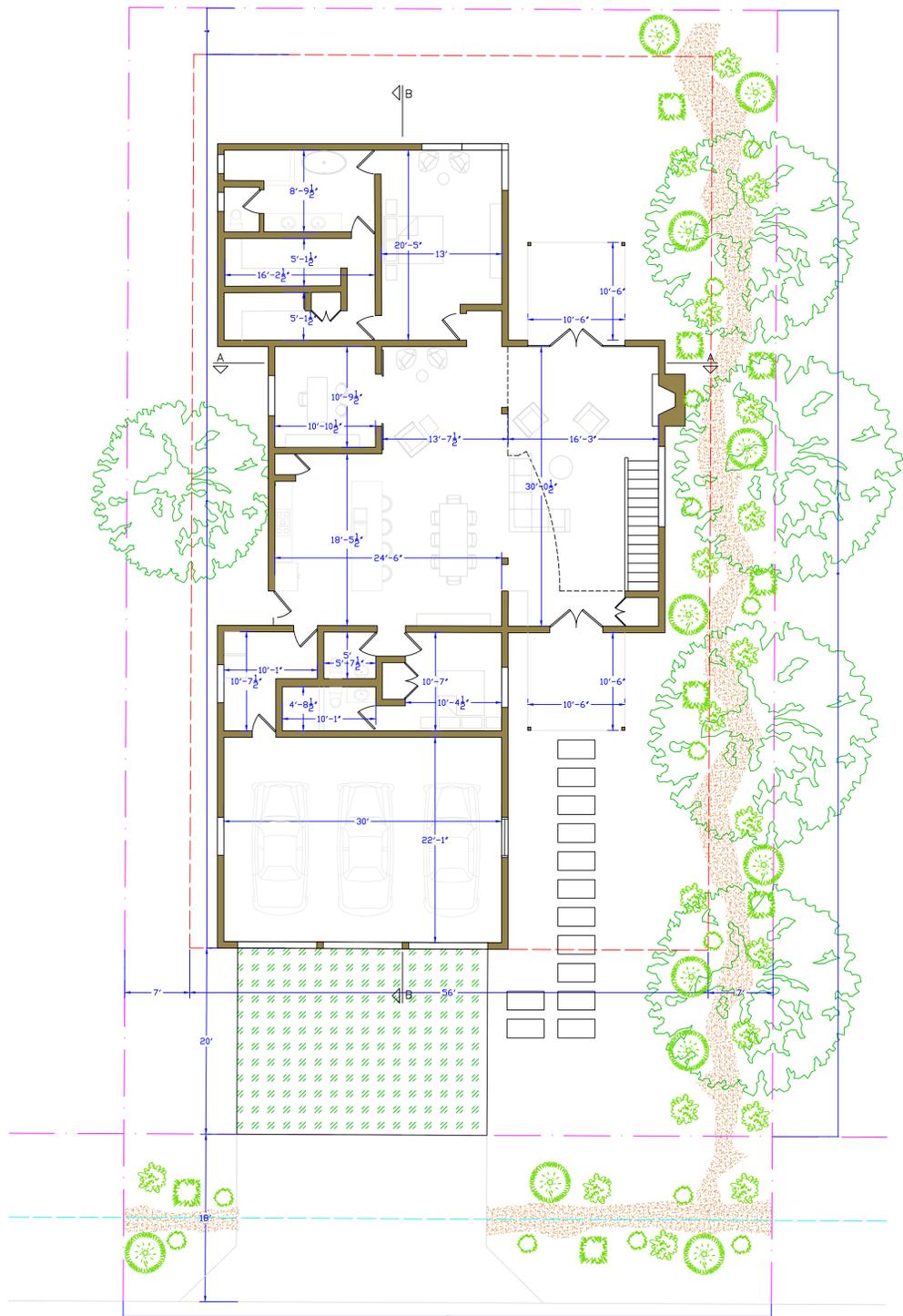
1. TELEPHONE/COMPUTER WIRING "CAT-5/6" WITH HOME RUNS TO CENTRAL PATCH PANEL
2. SECURITY SYSTEM PER HOMEOWNER/ BUILDER

ELECTRICAL SYSTEM TO BE PROVIDED PER 2017 NEC
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CONVENIENCE OUTLETS IN BATHROOMS, KITCHEN COUNTERTOPS WITHIN SIX FEET OF THE KITCHEN SINK, OUTDOORS, AND IN GARAGES AND BASEMENTS (OTHER THAN FOR LAUNDRY OR SIMILAR EQUIPMENT) SHALL BE GFCI PROTECTED. NEC, ART. 210-8.
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LIGHTING SHOWN IS OPTIONAL AND IS AT THE DISCRETION OF THE OWNER.

SECOND FLOOR ELECTRICAL

SCALE: 3/16" = 1'

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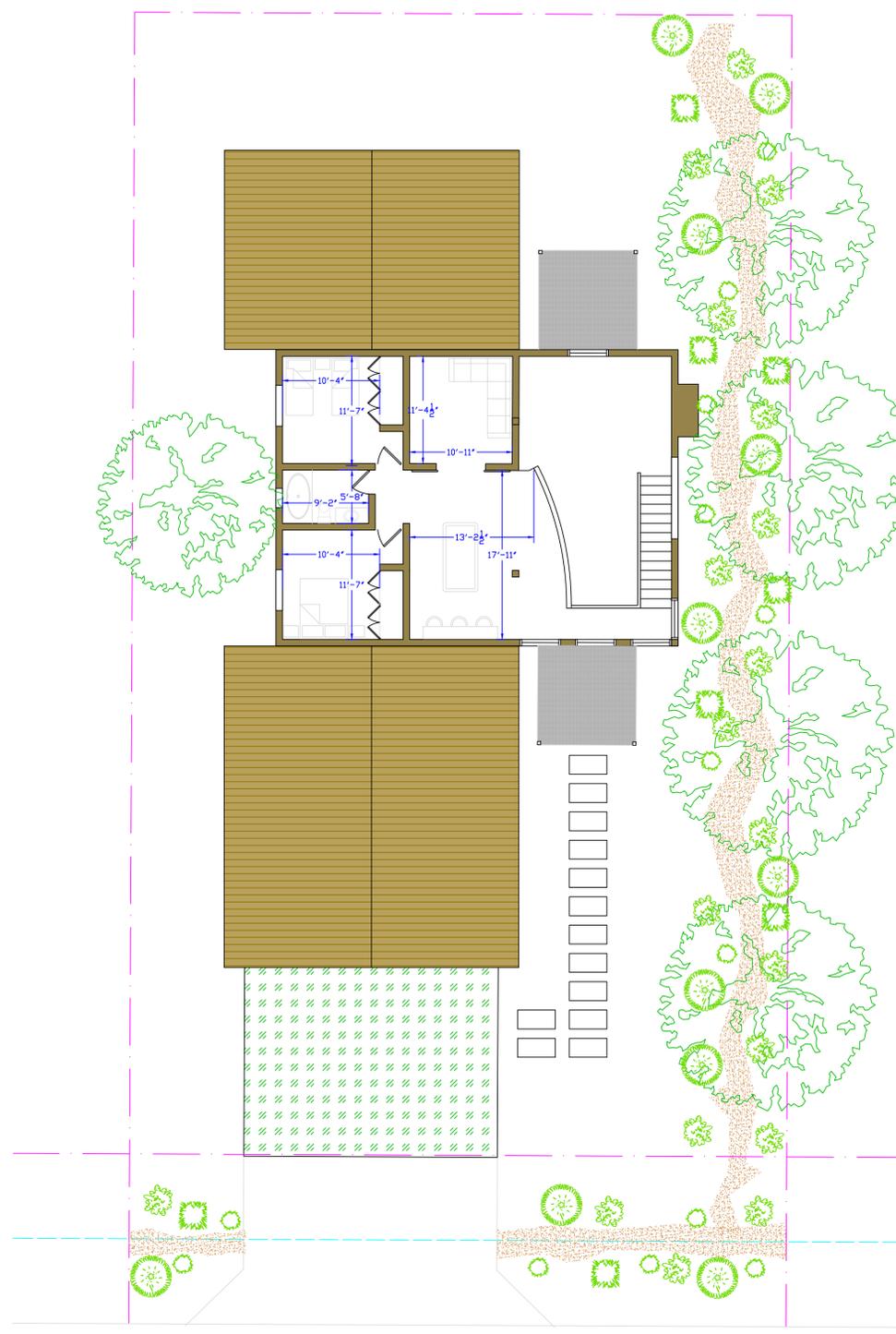


FIRST FLOOR

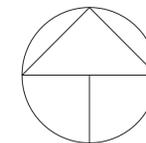
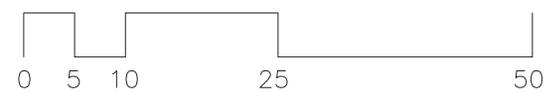
FIRST FLOOR: 2383 SQF

SECOND FLOOR: 950 SQF

TOTAL: 3333 SQF



SECOND FLOOR



General Notes

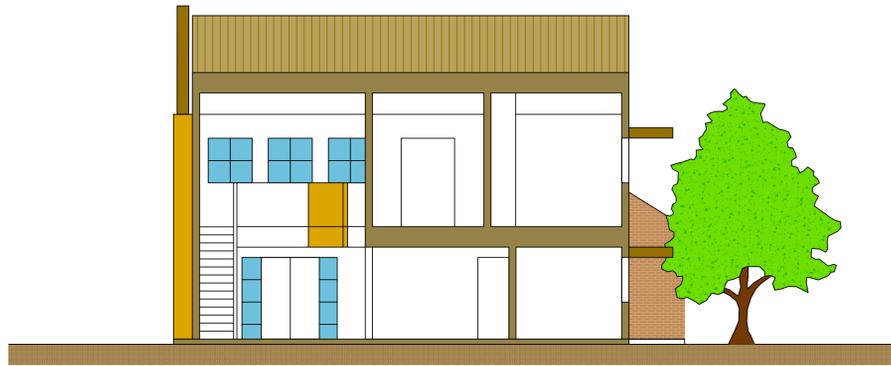


No.	Revision/Issue	Date

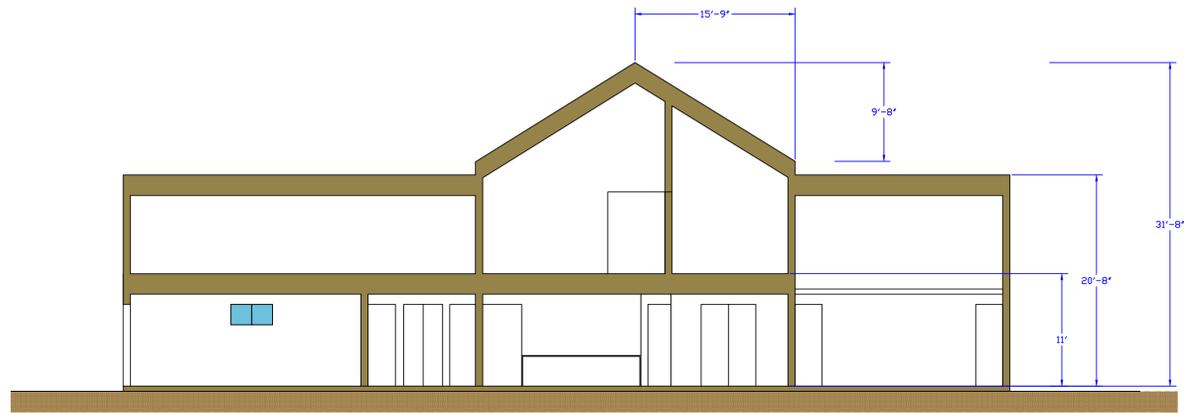


Project Name and Address
 VIDAS 327 PD
 327 PENINSULA DR
 LAKEWOOD VILLAGE
 TX

Drawing	PLANS	Sheet
Date	11/30/2020	01
Scale	1:100	



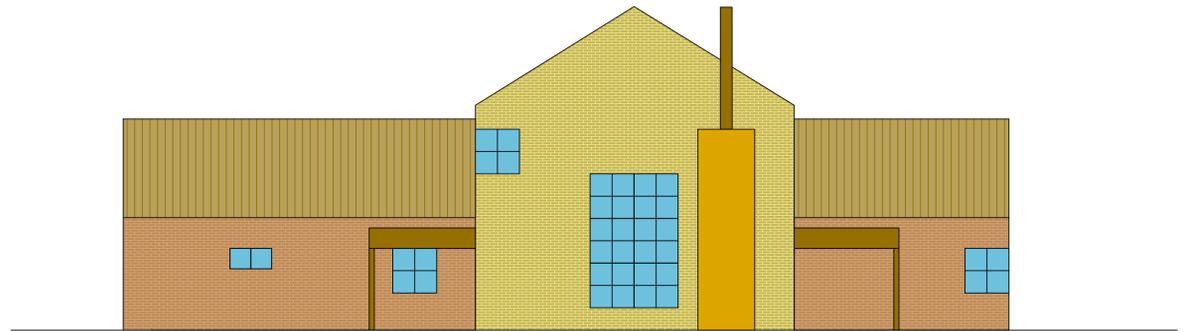
A-A



B-B



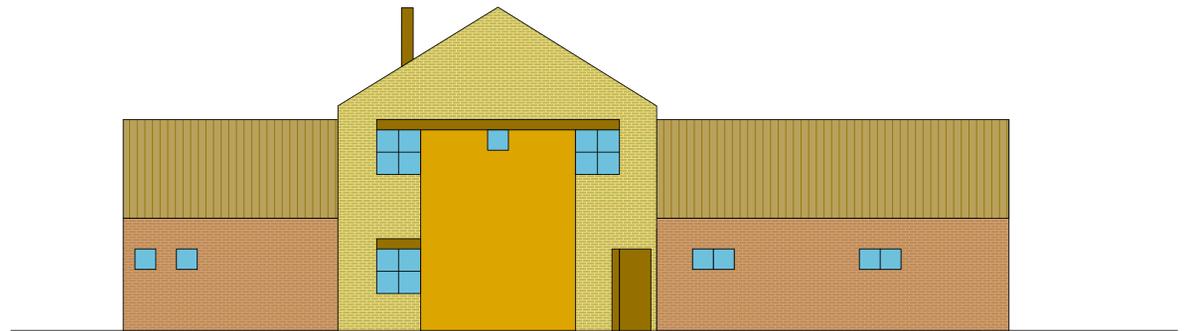
SOUTH



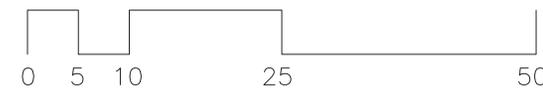
EAST



NORTH



WEST



General Notes



No.	Revision/Issue	Date



Project Name and Address
 VIDAS 327 PD
 327 PENINSULA DR
 LAKEWOOD VILLAGE
 TX

Drawing SECTIONS & FACADES	Sheet 02
Date 11/30/2020	
Scale 1:100	

<i>Utility Revenues</i>				
	2017	2018	2019	2020
Water	\$146,713	\$151,946	\$178,830	\$202,521
Sewer	\$103,063	\$107,790	\$114,841	\$113,237
Garbage	\$45,123	\$47,213	\$50,058	\$59,093
Other	\$21,131	\$21,751	\$55,095	\$34,623
TOTAL	\$316,030	\$328,700	\$398,824	\$409,474

<i>Utility Income and Cash Flows</i>				
	2017	2018	2019	2020
Operating Income	(\$5,662)	\$451	\$114,571	\$121,352
Operating CFlow	\$60,512	\$93,919	\$191,094	\$220,085
CAPX	(\$103,320)	(\$51,911)	(\$82,788)	(\$144,302)



MEMORANDUM

TO: Town Council
CC: Linda Asbell
FROM: Dr. Mark E. Vargus, Mayor
DATE: December 2, 2020
RE: Road Financing Update

Please refer to the attached spreadsheet for the supporting information. As of December 1st, the road project is 40 percent complete. We are ahead of schedule and looking at a late April, early May completion date depending on the weather.

In summary, our remaining construction costs are \$2,837,668 before we get a credit of approximately \$75,000 for eliminating topsoil costs. We currently have \$2,365,381 remaining from the bond proceeds and I expect to receive another \$10,000 in interest. Putting it all together this leaves us with a cash gap of \$387,287. **With some additional utility relocations to be done, I expect our funding gap to be \$400,000.** This is obviously a one-time expense

As of today, December 2nd, we have the following cash balances in our accounts. These balances exclude our tax and debt servicing accounts. This is our cash RESERVES:

General Fund	\$ 644,300
Utility Fund	\$ 217,000
<u>MDD</u>	<u>\$ 37,200</u>
Cash Total	\$ 898,500

So, we have almost \$900,000 **excluding our property tax collections** that we will use to operate the town and make our bond payments.

The funding gap will not be a problem.

I look forward to your comments;

Ed Bell

Bid	\$4,444,798	PAY APP #1	(\$310,202)
Change Order#1	(\$43,405)	PAY APP #2	(\$506,181)
Change Order#2	(\$43,853)	PAY APP #3	(\$30,512)
Change Order#3	(\$6,800)	PAY APP #4	(\$437,830)
Change Order#4	\$19,216	PAY APP #5	(\$205,819)
Change Order#5	\$13,270	PAY APP #6	(\$161,709)
CONTRACT	\$4,383,226	AMT PAID	(\$1,652,253)

Kimley Horn Pre-Construction	
Survey & Topo	\$74,000
Design	\$260,000
Bidding / Drawings	\$15,000
	\$349,000

Construction Phase		Budget
Kimley Horn	\$113,715	\$200,000
Fugro	\$16,640	\$37,050

Bank Account Reconciliation	
Proceeds	\$4,500,000
Interest	\$28,715
KH Pre Construction	(\$349,000)
PAY APPS	(\$1,652,253)
KH Construction Phase	(\$113,715)
FUGRO	(\$16,640)
Utility Relocates	(\$26,726)
Misc - warrant	(\$5,000)
Bank Balance Dec 1	\$2,365,381

Outstanding Costs	
Ed Bell	\$2,730,973
Kimley Horn	\$86,285
Fugro	\$20,410
	\$2,837,668

Additional Benefits	
Interest	\$10,000
Change Order	\$75,000
	\$85,000

Cash GAP ==> \$2,365,381 + \$85,000 - \$2,837,668 = \$387,287



MEMORANDUM

TO: Town Council
CC: Linda Asbell
FROM: Dr. Mark E. Vargus, Mayor
DATE: December 2, 2020
RE: COVID-19 Policies

Given the rapid rise in COVID cases nationwide, I am notifying the Council of operational changes I am implementing. I feel these changes are necessary to protect the health of our staff, contractors, and building inspectors.

As the Emergency Response Coordinator for Lakewood Village, I am notified of the address of people in the town who test positive for COVID-19. There are many limitations on my ability to disclose this information. However, we have an obligation to staff and especially the Building Inspectors to not expose them to a hazardous situation.

I have consulted with several executives in charge of implementing COVID policies with respect to their work force. Unlike a commercial enterprise, I cannot require citizens to provide us with negative test results prior to us providing service. Therefore, effective immediately:

Staff (including LE Services and Building Inspectors)

Staff are required to notify the Mayor if they test positive or meet the CDC criteria for self-quarantine. Staff will not be allowed at Town Hall until they provide a negative test result.

Building Inspections

No inspections will be performed at a property identified by Denton County as having a positive case until (1) 21 days has elapsed since the date the town received notification of a positive case; or (2) all members of the household submit to me negative test results

Councilmembers

I expect Councilmembers, as leaders in the community, to self-quarantine when warranted and to notify me so that I can take appropriate disinfectant measures at Town Hall.

I look forward to your comments;

**TOWN OF LAKEWOOD VILLAGE, TEXAS
RESOLUTION NO. 20-03**

A RESOLUTION OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS, RELATING TO THE C-3 VOLUNTARY PETITION FOR ANNEXATION OF CERTAIN TERRITORIES IN THE EXTRATERRITORIAL JURISDICTION OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS, TO WIT BEING ±16.371 ACRES GENERALLY LOCATED AT ELDORADO PARKWAY AND LAKECREST DRIVE AND DESCRIBED AS CHRISTOPHER C. DICKSON SURVEY, ABSTRACT NO. A-339; AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS IN EXHIBIT "A" AND GRAPHICALLY DEPICTED IN EXHIBIT "B" ATTACHED HERETO AND INCORPORATED HEREIN; CALLING A PUBLIC HEARING REGARDING ANNEXATION, DIRECTING NOTICES OF PUBLIC HEARING BE PROVIDED AS PRESCRIBED BY LAW; PROVIDING FOR INCORPORATION OF PREMISES; PROVIDING FOR SEVERABILITY; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Lakewood Village is a Type A General-Law municipality located in Denton County, Texas, created in accordance with the provisions of the Texas Local Government Code (the "Act") and operating pursuant to the enabling legislation of the State of Texas; and

WHEREAS, legal descriptions of the area proposed to be annexed is attached hereto as Exhibit "A" and is geographically depicted in Exhibit "B", both of which are attached hereto and incorporated herein as if written word for word (together the "Area"); and

WHEREAS, the Town received a petition requesting voluntary annexation from the owner of the Area (the "Owner") containing all elements required by Section 43.0671 of the Act (the "Petition"); and

WHEREAS, the Town Council directs publication, mailing and distribution of notice(s) for a public hearing, as required by the Act, to consider the annexation of the Area; and

WHEREAS, all required statutory notices and procedures related to the Petition in Chapter 43 of the Act have been accomplished; and

WHEREAS, in accordance with Chapter 43 of the Act, a Written Service Agreement for the Area was entered by and between the Town and the Owner; and

WHEREAS, the Town Council of the Town of Lakewood Village, Texas has determined that the Area to be annexed, as set forth in the Petition, is located within the extraterritorial jurisdiction of the Town; and

WHEREAS, the Town Council of the Town of Lakewood Village, Texas has investigated into, has determined, and officially finds that no part of the Area is within the extraterritorial jurisdiction of any other incorporated town or town.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS, THAT:

SECTION 1
INCORPORATION OF PREMISES

The above and foregoing premises are true and correct, are incorporated herein, are legislative findings of the Town Council, and are made a part hereof for all purposes.

SECTION 2
CALLING OF PUBLIC HEARING AND PROVIDING NOTICES

A. Calling of Public Hearings. The Town Council hereby calls a public hearing about annexation of the Area, at which members of the public shall be given an opportunity to be heard, at **LAKEWOOD VILLAGE TOWN HALL, 100 HIGHRIDGE DRIVE, LAKEWOOD VILLAGE, TEXAS** at on the following date and time:

January 14, 2021 at 7:00 p.m.

The ordinance annexing the Area may be adopted immediately following the public hearing called above.

B. Notice of Public Hearing. The Town Secretary is hereby authorized and directed to cause notice of the public hearing called by Section 2.A. to be sent to; (i) property owners in the Area, (ii) any school district or public entity providing services to the Area, and (iii) any railroad having right-of-way in the Area, at least 11 days, but no more than 20 days, before the date of the public hearing. In addition, such notice shall be posted on the Town's website and published once in a newspaper having general circulation in the Town and in the Area at least 11 days, but not more than 20 days, before the date of the public hearing.

SECTION 3
SEVERABILITY

If any section, article, paragraph, sentence, clause, phrase or word in this resolution, or

application thereof to any land, property, person or circumstance, is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this resolution, and the Town Council hereby declares it would have passed such remaining portions of this resolution despite such invalidity, which remaining portions shall remain in full force and effect. The Town Council hereby declares that if there is an error in any call or description in Exhibit "A", the Town Council would have included all remaining Area having correct calls or descriptions and or would have corrected the call or description to include the entire intended Area in this resolution.

SECTION 4
EFFECTIVE DATE

This Resolution shall take effect immediately upon its passage.

**DULY PASSED AND APPROVED BY THE TOWN COUNCIL OF THE TOWN
OF LAKEWOOD VILLAGE, TEXAS, on this 10th day of December, 2020.**

Dr. Mark E. Vargus
Mayor

ATTEST:

Linda Asbell, TRMC, CMC
Town Secretary

Exhibit "A"
LEGAL DESCRIPTION OF AREA

LEGAL DESCRIPTION (Tract 1)

SITUATED in the Christopher C. Dickson Survey, Abstract No. 339 of Denton County, Texas and being part of that certain called 18.964 acre tract (including public right-of-way) of land described in a Special Warranty Deed from the Town of Little Elm, Texas to Little Elm Independent School District, recorded in Document No. 97-0046698, Deed Records, Denton County, Texas (D.R.D.C.T.) and being all of that certain called 0.11 acre tract described in a Special Warranty Deed from Denton County, Texas to Little Elm Independent School District, recorded in Document No. 2009-41532, D.R.D.C.T. and being more particularly described by metes & bounds as follows:

BEGINNING at a 3/8 inch iron rod found at the southeast corner of the above described 18.964 acre tract and the southwest corner of Block 1 of Sunrise Bay At Lake Lewisville, an addition to Denton County, Texas, according to the plat thereof, recorded in Cabinet L, Page 224, Plat Records, Denton County, Texas (P.R.D.C.I.) and said beginning point also being on the north line of that certain called 77.89 acre tract of land described in a deed to Sam Hill Venture, recorded in Document No. 2004-39575, D.R.D.C.I.;

THENCE: South 86 deg. 58 min. 31 sec. West, along the common line of said 18.964 acre tract and said 77.89 acre tract, a distance of 499.50 feet to a 5/8 inch iron rod found for corner;

THENCE: South 01 deg. 25 min. 12 sec. East, continuing along said common line, a distance of 40.19 feet to a 1/2 inch iron rod found for corner;

THENCE: South 88 deg. 50 min. 03 sec. West, continuing along said common line, at 391.40 feet, passing a 1/2 inch iron rod found for the northwest corner of said 77.89 acre tract and same being the northeast corner of that certain called 19.249 acre tract of land described in a deed to Philip L. Hancock and wife, Lynn A. Hancock and Stephen E. Dumaine, recorded in Document No. 2006-47468, D.R.D.C.T., and continuing for a total distance of 437.11 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped 'RPLS 3047', found for the most southerly southwest corner of this tract on the east right-of-way line of Lakecrest Drive (a public road, dedicated to Denton County, Texas, Document No. 2006-88546, D.R.D.C.T.) and said point also being the most northerly northeast corner of that certain 60 foot wide public right-of-way dedication conveyed to the City of Lakewood Village (First Tract), recorded in Volume 960, Page 824, D.R.D.C.T.;

THENCE: North 03 deg. 11 min. 05 sec. West, along the east right-of-way line of said Lakecrest drive, at 100.16 feet, passing the south corner of the above described 0.11 acre tract and continuing for a total distance of 122.44 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped 'RPLS 3047', found at the beginning of a curve to the right, having a radius of 10.00 feet, a central angle of 59 deg. 40 min. 14 sec. and a chord that bears North 26 deg. 49 min. 03 sec. East - 9.95 feet;

THENCE: Along the westerly line of said 0.11 acre tract and with said curve to the right, an arc distance of 10.41 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped 'RPLS 3047', found for corner on the southwesterly right-of-way line of W. Eldorado Parkway (a variable width public right-of-way) and said point being the beginning of a non-tangent curve to the left, having a radius of 1,006.60 feet, a central angle of 15 deg. 31 min. 46 sec. and a chord that bears North 48 deg. 56 min. 05 sec. East - 272.00 feet;

THENCE: Along the common line of said 0.11 acre tract and said W. Eldorado Parkway, an arc distance of 272.83 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped 'RPLS 3047', found for the northern corner of said 0.11 acre tract and said point being the beginning of a non-tangent curve to the left having a radius of 590.00 feet, a central angle of 05 deg. 29 min. 04 sec. and a chord that bears North 27 deg. 19 min. 12 sec. East - 35.45 feet;

THENCE: Continuing along the southeasterly right-of-way line of said W. Eldorado Parkway and with said curve to the left, an arc distance of 58.48 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped 'RPLS 3047', found for the southeast corner of that certain called 0.587 acre tract of land described in a deed from Little Elm Independent School District to Denton County, Texas, recorded in Document No. 98-0028098, D.R.D.C.T. and said point being the beginning of another non-tangent curve to the left, having a radius of 994.93 feet, a central angle of 11 deg. 56 min. 18 sec. and a chord that bears North 31 deg. 51 min. 40 sec. East - 208.93 feet;

THENCE: Continuing along the common line of said W. Eldorado Parkway and said 0.587 acre tract, an arc distance of 207.30 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped 'RPLS 3047', found for corner at the end of said curve;

THENCE: North 25 deg. 55 min. 10 sec. East, a distance of 927.87 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped 'RPLS 3047', found on the north line of said 18.964 acre tract and on the south line of that certain tract of land described in a deed to the Town of Little Elm (Little Elm Sunrise Bay Water Plant), recorded in Document No. 1995-0078024, D.R.D.C.T.;

THENCE: North 89 deg. 17 min. 47 sec. East, departing from said W. Eldorado Parkway, along the common line of said 18.964 acre tract and said Town of Little Elm tract, a distance of 175.42 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped 'RPLS 4701', set in a landscaped area, next to a stone screening fence, for the northeast corner of said 18.964 acre tract and the southeast corner of said Town of Little Elm tract and said point being on the west line of the above described Block 1 of Sunrise Bay At Lake Lewisville;

THENCE: South 00 deg. 42 min. 14 sec. East, along the common line of said 18.964 acre tract and Block 1, a distance of 1,296.79 feet to the POINT OF BEGINNING and containing 706,074 square feet or 16.209 acres of land.

LEGAL DESCRIPTION (Tract 2)

SITUATED in the Christopher C. Dickson Survey, Abstract No. 339 of Denton County, Texas and being part of that certain called 18.984 acre tract (including public right-of-way) of land described in a Special Warranty Deed from the Town of Little Elm, Texas to Little Elm Independent School District, recorded in Document No. 97-0048898, Deed Records, Denton County, Texas (D.R.D.C.T.) and being more particularly described by metes & bounds as follows:

BEGINNING at a 1/2 inch iron rod, topped with a plastic cap, stamped "RPLS 3047", found for the most westerly southwest corner of the above described 18.984 acre tract, on the north line of that certain called 19.429 acre tract of land described in a deed to Philip L. Hancock and wife, Lynn A. Hancock and Stephen R. Dumas, recorded in Document No. 2006-47488, D.R.D.C.T.;

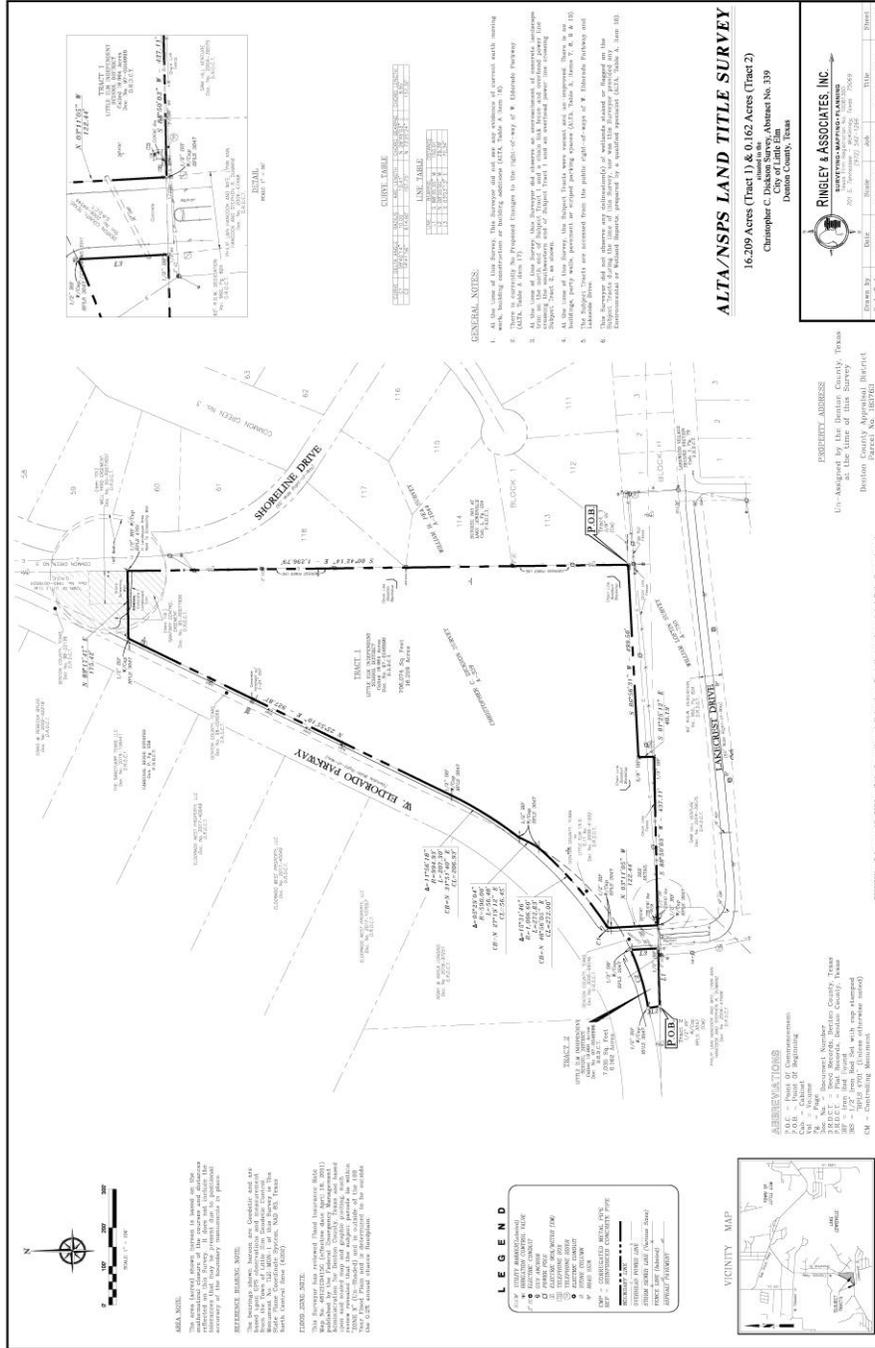
THENCE: North 08 deg. 55 min. 00 sec. West, along the most westerly west line of said 18.984 acre tract, a distance of 29.39 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped "RPLS 3047", found on the southern right-of-way line of W. Eldorado Parkway (a variable width public right-of-way) for the most westerly northwest corner of said 18.984 acre tract and said point being in a non-tangent curve to the left, having a radius of 814.90 feet, a central angle of 14 deg. 41 min. 56 sec. and a chord that bears North 73 deg. 25 min. 24 sec. East - 157.32 feet;

THENCE: Along the common line of said 18.984 acre tract and said W. Eldorado Parkway, an arc distance of 157.75 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped "RPLS 3047", found for corner on the west right-of-way line of Lakecrest Drive (a public road, dedicated to Denton County, Texas, Document No. 2006-86546, D.R.D.C.T.);

THENCE: South 03 deg. 03 min. 13 sec. East, departing from said W. Eldorado Parkway, along the west right-of-way line of said Lakecrest Drive, a distance of 70.34 feet to a 1/2 inch iron rod found for the southwest corner of said Lakecrest Drive tract, on the south line of said 18.984 acre tract and the north line of the above described 19.429 acre Hancock tract and said point also being the most northerly northwest corner of that certain 80 foot wide public right-of-way dedication conveyed to the City of Lakewood Village (First Tract), recorded in Volume 980, Page 824, D.R.D.C.T.;

THENCE: South 88 deg. 35 min. 35 sec. West, departing from said Lakecrest Drive, along the common line of said 18.984 acre tract and said 19.429 acre Hancock tract, a distance of 150.01 feet to the POINT OF BEGINNING and containing 7,035 square feet or 0.162 acres of land.

Exhibit "B" DEPICTION OF AREA





MEMORANDUM

TO: Town Council
CC: Linda Asbell
FROM: Dr. Mark E. Vargus, Mayor
DATE: December 3, 2020
RE: Annual Review of Current Investments

Currently the Towns funds are invested in interest bearing savings accounts. Our Point Bank accounts are FDIC insured up to \$250,000, with the bank pledging securities as collateral for the excess. The composition of the balances are:

Point Bank	\$ 3,330,460	Current yield (1.02%)
TexPool	\$ 20,030	Current yield (0.13 %)

On March 24, 2020 in anticipation of declining short-term rates, I moved nearly all of our funds out of TexPool (the rate was 1.09 % at that date) to Point Bank where our rate is contractually fixed at 1.02 %

I am not planning on changing our investment mix unless the short-end of the yield curve steepens.

**TOWN OF LAKEWOOD VILLAGE, TEXAS
ORDINANCE NO. 17-04**

AN ORDINANCE ADOPTING AN INVESTMENT POLICY AND DEFINING SUITABLE INVESTMENTS; PROVIDING FOR PERIODIC REPORTS ON FINANCIAL PERFORMANCE; PROVIDING A REPEAL CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town Council of Lakewood Village, Texas has a fiduciary obligation to invest its citizens' funds prudently;

WHEREAS, the Town of Lakewood Village, Texas is vested with full investment powers under the authority of Local Government Code Section 105.072 and the Texas Government Code Chapter 2256 (" The Public Funds Investment Act" as amended);

WHEREAS, Texas Government Code Chapter 2256.005 requires municipalities to adopt and maintain a written investment policy and describes specific conditions that the policy must satisfy;

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS THAT THE TOWN HEREBY ADOPTS THE FOLLOWING:

1. INVESTMENT POLICY:

It is the policy of the Town of Lakewood Village ("Town") to invest public funds in a manner which will provide the highest investment return with maximum security while meeting the daily cash flow demands of the Town of Lakewood Village and conforming to the "Public Funds Investment Act". The receipt of a market rate of return will be secondary to the requirement for safety of principle and liquidity.

A written copy of the investment policy shall be presented to any person offering to engage in an investment transaction with an investing entity or to an investment management firm under contract with an investing entity to invest or manage the entity's investment

In conjunction with its annual financial audit, the Town shall perform a compliance audit of management controls on investments and adherence to the towns established investment policies.

2. STRATEGY:

The Town employs an overall investment strategy which provides for the safety of principle and liquidity, while segregating funds to allow for better monitoring and oversight, as well as control. The strategy has the following attributes:

- The use of local financial institutions for demand deposits and operating accounts. These accounts generate the highest transaction volumes and are the source of the Town's daily working capital needs. Liquidity and fund availability are the primary requirements, while the relatively low balances minimize the effect on lower yields.
- The use of regulated investment pools to invest reserve funds and capital improvement funds which by their nature have longer investment cycles and less frequent transactions. Because these funds are not needed on a daily basis, the use of pools allows the Town to gain higher yields by lengthening the portfolio's maturity.
- The strategy does not allow for the Town to hold individual securities except for CD's which must be fully insured by the FDIC.

3. PRUDENCE:

Investments by the investment officer shall be made with judgment and care, under circumstances then prevailing, which persons of prudence, discretion and intelligence exercise in the management of their own affairs, not for speculation, but for investment considering the probable safety of their capital as well as the probable income to be derived. The governing body of the investing entity retains ultimate responsibility as fiduciaries of the assets of the entity

The standard of prudence to be used by the Investment Officer shall be the "prudent person" standard and shall be applied in the context of managing an overall portfolio. Investment Officers acting in accordance with written procedures of the Investment Policy and exercising due diligence shall be relieved of personal responsibility for an individual security's credit risk or market price changes, provided deviations from expectations are reported in a timely fashion and appropriate action is taken to control adverse developments.

4. OBJECTIVE:

It is the policy of the Town that all funds shall be managed and invested with three primary objectives, listed in the order of their priority: safety, liquidity, and yield (return). These objectives encompass:

A) Safety of Principal

Safety of Principal is the foremost objective of the Town. Investments of the Town shall be undertaken in a manner that seeks to insure the preservation of capital in the overall portfolio. A diversification strategy is a key element of the Town's investment policy in that it reduces the likelihood of large capital losses attributable to individual securities leading to an overall reduction in the Town's assets. Diversification will be accomplished through the investment in eligible institutions, investment pools, and mutual funds which hold a portfolio of individual securities backed by numerous issuers. All mutual fund investments must be insured by the Securities Investor Protection Corporation (SIPC), a nonprofit corporation established by the U.S. Congress.

B) Liquidity

The Town's investment portfolio must remain sufficiently liquid to enable the Town to meet all operating requirements which might be reasonably anticipated. Pools and Mutual fund investments must allow for electronic transfer of funds on a next-business-day basis and be accessible via the internet.

C) Return on Investment

The Town's investment portfolio shall be designed with the objective of attaining a rate of return throughout the budgeting and economic cycles, commensurate with the Town's investment risk constraints and the cash flow characteristics of the portfolio.

5. CONTROLS and DELEGATION OF AUTHORITY:

The Town Council, shall designate by resolution or ordinance the Investment Officer of the Town who is responsible for investment management decisions and activities. The Investment Officer shall develop and maintain written administrative procedures for the operation of the investment program which are consistent with this Investment Policy. The Investment Officer shall be responsible for all transactions undertaken and shall establish a system of controls to regulate the activities of subordinate officials and staff.

Controls:

- a. The Town Council shall adopt maximum investment limits (either in dollar terms of as a percentage of the towns cash) on the value of each investment type (pool, cd, money-market mutual fund).
- b. Any new investment transaction exceeding \$10,000, either to a new investment or to an existing investment one shall be reported to the council at the next subsequent meeting.

6. ETHICS AND CONFLICTS OF INTEREST:

Officers and employees involved in the investment process shall refrain from personal business activities that could conflict with proper execution of the investment program or which could impair their ability to make impartial investment decisions. In addition to those requirements imposed under state law, employees and Investment Officials shall disclose to the Town Council any material financial interest in financial institutions that conduct business within this jurisdiction and they shall further disclose any large personal financial/investment positions that could be related to the performance of the Town, particularly with regards to the time of purchases and sales.

7. AUTHORIZED FINANCIAL DEALERS AND BROKERS

The Town will not hold individual securities, therefore it is anticipated that there will not be a need for broker / dealers to execute buy and sell orders.

8. ACCEPTABLE INVESTMENT INSTRUMENTS:

The Town of Lakewood Village is permitted to invest only in the following subset of eligible investments empowered under The Public Funds Investment Act:

- ◆ Mutual funds or investment pools consisting of Obligations of the United States Government or its agencies and instrumentalities;
- ◆ Mutual funds or investment pools holding direct obligations of the State of Texas or its agencies;
- ◆ Mutual funds or investment pools holding other obligations, the principal of and interest on which are unconditionally guaranteed or insured by, or backed by the full faith and credit of, the State of Texas or the United States or their respective agencies and instrumentalities;
- ◆ Certificate deposits issued by State and National banks domiciled in the State of Texas fully insured by FDIC;
- ◆ SEC registered, no-load money market mutual funds with a dollar weighted average portfolio maturity of 90 days or less whose assets consist exclusively of the US Government securities and whose investment objectives include seeking to maintain a stable net asset value of \$1 per share.
- ◆ Texas Local Government investment pools as defined by the Public Funds Investment Act.

The following investments are specifically not authorized: (1) individual securities (CD's excepted), (2) any investment with either a weighted average maturity of 3 years or a duration greater than three years

If additional types of securities are approved for investment under the PFIA, they will not be eligible for investment by the Town until this policy has been amended and approved by the Town Council.

9. INVESTMENTS IN REAL PROPERTY:

Nothing in this policy is to be construed as limiting the Town's rights to acquire real property as authorized under the Local Government Code, Section 271 or through eminent domain or other authorized methods.

10. INVESTMENT REPORTING:

Each quarter, the Investment Officer and any employees designated by the Investment

Officer shall prepare and submit to the Town Council a written report of all investment transactions, balances, and changes in position.

The report must

1. Describe in full detail the investment position of the town on the date of the report
2. Must contain the beginning market value ending market value and fully accrued interest for the reporting period
3. State the book value and market values of each separately invested asset
4. Clearly state the maturity date of each separately invested asset
5. Clearly state the town account or fund in which the individual investment was acquired and state the compliance of the investments portfolio to the towns investment strategy

If the Town invests in other than money market mutual funds, investment pools or accounts offered by its depository bank in the form of certificates of deposit, or money market accounts or similar accounts, the reports prepared by the investment officers under this section shall be formally reviewed annually by an independent auditor, and the result of the review shall be reported to the governing body and then posted on the town website for at least 7 years.

11. REPEAL CLAUSE

Ordinance 08-01 and all other ordinances that are in conflict with the provisions of this ordinance are hereby repealed and all other ordinances of the Town not in conflict with the provisions of this ordinance shall remain in full force and effect.

12. SUPERSEDING REGULATION OR STATUTE

Whenever any applicable statute, regulation, or permit of any state, federal, or other agency, having jurisdiction over the subject matter of this Ordinance, is in conflict herewith, the stricter requirement shall apply, unless mandated otherwise.

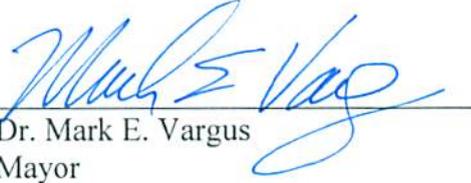
13. SEVERABILITY CLAUSE

The provisions of this Ordinance are severable, and if any section, article, paragraph, sentence, clause, phrase or word in this Ordinance or application thereof to any person or circumstance is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this Ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

14. EFFECTIVE DATE

This ordinance shall be in full force and effect from and after its date of passage and publication as provided by law.

DULY PASSED AND APPROVED BY THE TOWN COUNCIL OF THE TOWN OF LAKEWOOD VILLAGE, TEXAS, on this 12th day of October 2017.


Dr. Mark E. Vargus
Mayor

ATTESTED:


Linda Asbell, TRMC, CMC
Town Secretary





Water System Update #1 December 1, 2020

ON AUGUST 26TH Lakewood Village received a request from the Texas Commission on Environmental Quality (TCEQ) to provide emergency water services to the Last Resorts Water System. Within a couple of hours, we constructed a temporary emergency interconnect between your water system and Lakewood Village's water system located on Shady Lane. Following approval in November, we constructed a permanent interconnection. Since August, your water has been supplied by the Rocky Point Water System, which is owned and operated by the Lakewood Village Municipal Development District. The water quality exceeds all regulatory requirements and we perform laboratory tests daily - your water is very safe. You probably have many questions:

1. I haven't received a bill. Do we owe Lakewood Village? Will there be a connection fee?

There will not be a connection fee. The Town will not bill you for your previous water usage. Our priority in this type of an emergency is to stabilize the situation and provide clean, safe, water at good pressure. Now that everything is operating smoothly, we can work on the paperwork. We will read water meters on December 15th to get our initial reading. We will read them again on January 15th and your first bill will be for that month. So, you won't receive your first bill from us until later in January 2021.

2. What is the billing cycle for Lakewood Village?

We read meters on the 15th of the month. Your payment is due on or before the 5th of the next month. So, your January 15th bill will be due by February 5th (it is late on the 6th).

3. How will I receive my bill? How do I pay it?

You have two ways to get your bill: we will mail it, or you can provide us with an email address and receive your bill electronically. **Payments must be made to the "Rocky Point Water System"** - we cannot give you credit or cash your check if your payment is to "Last Resorts". You have many payment options:

- (1) you can mail your payment to 100 Highridge Drive, Lakewood Village, TX 75068;
- (2) you can use the drop box at Lakewood Village Town Hall at the above address;
- (3) you can go to our website www.lakewoodvillagetx.us and make a credit card payment online; or
- (4) you can sign up for auto-pay where each month your bill is automatically deducted from your checking account or charged to a credit card (we will help you set it up with our billing software provider)

4. What do I do next?

To open your accounts, every service address is required to provide us with an application (enclosed). Lakewood Village utility ordinances required customers to pay a **refundable** \$100 security deposit. It will be returned to you when you discontinue service. Unless you tell us differently, we will spread the deposit out over your first four monthly bills (\$25 each). We are not responsible for any security deposits paid to Last Resorts. Please fill out the application as soon as possible and mail it back or drop it off at Town Hall.

As you have noticed, your water system now operates with a higher volume and higher pressure than Last Resorts. It is possible that there may be leaks in some of the main lines. Please let us know if you see unusual amounts of water. We will give you another update later this month. Stay safe and Happy Holidays.

Dr. Mark E. Vargus
Mayor
972-294-5555

Linda Loudon
President, Lakewood Village MDD